

**CITY OF TAFT PLANNING COMMISSION
REGULAR MEETING AGENDA
WEDNESDAY, FEBRUARY 18, 2015
CITY HALL COUNCIL CHAMBERS
209 E. KERN ST., TAFT, CA 93268**

AS A COURTESY TO ALL - PLEASE TURN OFF CELL PHONES

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda are made available for public inspection in the lobby at Taft City Hall, 209 E. Kern Street, Taft, CA during normal business hours (SB 343).

REGULAR MEETING

6:00 P.M.

Pledge of Allegiance

Invocation

Roll Call: Chairman Orrin
 Vice Chairman Thompson
 Commissioner Jones
 Commissioner Leikam

1. OATH ADMINISTERED TO NEWLY APPOINTED PLANNING COMMISSIONER

2. CITIZEN REQUESTS/PUBLIC COMMENTS

THIS IS THE TIME AND PLACE FOR THE GENERAL PUBLIC TO ADDRESS THE CITY COUNCIL ON MATTERS WITHIN ITS JURISDICTION. STATE LAW PROHIBITS THE COUNCIL FROM ADDRESSING ANY ISSUE NOT PREVIOUSLY INCLUDED ON THE AGENDA. COUNCIL MAY RECEIVE COMMENT AND SET THE MATTER FOR A SUBSEQUENT MEETING. PLEASE LIMIT COMMENTS TO FIVE MINUTES.

3. MINUTES

January 21, 2015 Regular

Recommendation – Approve as submitted.

4. PUBLIC HEARING – CONDITIONAL USE PERMIT NO. 2014-19

Recommendation – Adopt Resolution 2015-01 approving Conditional Use Permit 2014-19 to install a new Bank of America ATM walk-up kiosk at an existing commercial parking lot, on the southeast corner of a 0.76 acre lot with an existing 4,448 square foot multi-tenant commercial building, within the General Commercial (GC) Zone District located at 900 Kern Street

5. PUBLIC HEARING – CONDITIONAL USE PERMIT NO. 2014-15

Recommendation – Adopt Resolution 2015-02 approving Conditional Use Permit 2014-15 to construct an 84-foot stealth monopine wireless telecommunications facility, for Verizon Wireless, within a 1,250 square foot lease area, on a 0.96 acre lot, within the Downtown Commercial (DC) Zone District located at 800 Main Street

6. PUBLIC HEARING – CONDITIONAL USE PERMIT NO. 2015-02

Recommendation – Adopt Resolution 2015-03 approving Conditional Use Permit 2015-02 to upgrade the Taft Wastewater Treatment Plant (WWTP) through maintenance-related measures to improve serviceability, reliability, and equipment performance, with no proposed changes in WWTP process or capacity, located on two properties totaling 42.46 acres approximately 800 feet southwest of the intersection of Airport Road and Ash Street

7. GENERAL PLAN AMENDMENT NO. 2015-01 – HOUSING ELEMENT UPDATE 2013-2023

Recommendation – Review and provide direction to staff

8. PLANNING DIRECTOR REPORT

9. CITY ATTORNEY STATEMENTS

10. COMMISSIONER COMMENTS

11. IDENTIFICATION OF REPRESENTATIVE TO THE CITY COUNCIL

ADJOURNMENT

**AMERICANS WITH DISABILITIES ACT
(Government Code Section 54943.2)**

The City of Taft City Council Chamber is accessible to persons with disabilities. Disabled individuals who need special assistance (including transportation) to attend or participate in a meeting of the Taft City Council may request assistance at the Office of the City Clerk, City of Taft, 209 E. Kern Street, Taft, California or by calling (661) 763-1222. Every effort will be made to reasonably accommodate individuals with disabilities by making meeting material available in alternative formats. Requests for assistance should be made five (5) working days in advance of a meeting whenever possible.

AFFIDAVIT OF POSTING

I, Yvette Mayfield, declare as follows:

That I am the City Clerk for the City of Taft; that an agenda was posted on a public information bulletin board located near the door of the Civic Center Council Chamber on February 13, 2015, pursuant to 1987 Brown Act Requirements.

I declare under penalty of perjury that the foregoing is true and correct.
Executed February 13, 2015, at Taft, California.

Date/Time _____ Signature _____

**CITY OF TAFT PLANNING COMMISSION
MINUTES
JANUARY 21, 2015**

REGULAR MEETING

6:00 P.M.

The January 21, 2015, regular meeting of the Planning Commission of the City of Taft, held in the City of Taft Council Chamber, 209 E. Kern Street, Taft, CA 93268, was opened by Chairman Ron Orrin at [6:02:57 PM](#). The Pledge of Allegiance was led by Shannon Jones, and invocation was given by Kathy Orrin.

PRESENT: Chairman Ron Orrin and Vice Chairman Robert Thompson;
Commissioners Shannon Jones and Bob Leikam.
Planning and Community Development Director Mark Staples;
City Attorney Jason Epperson, City Clerk Yvette Mayfield.

1. CITIZEN REQUESTS/PUBLIC COMMENTS

There were none.

2. MINUTES

October 22, 2014 Regular

Motion: Moved by Jones, seconded by Leikam to approve Minutes as submitted

AYES: Jones, Leikam, Thompson, Orrin

PASSED: 4-0

November 19, 2014 Regular

Motion: Moved by Thompson, seconded by Leikam to approve Minutes as submitted

AYES: Leikam, Thompson Orrin

ABSTAIN: Jones

PASSED: 3-0

December 3, 2014 Special

Motion: Moved by Thompson, seconded by Jones to approve Minutes as submitted

AYES: Jones, Thompson, Orrin

ABSTAIN: Leikam

PASSED: 3-0

3. APPOINTMENT OF PLANNING COMMISSIONER TO SERVE ON TRAFFIC COMMITTEE

With support of the other three commissioners, Shannon Jones volunteered to serve on the Traffic Committee.

4. GENERAL PLAN AMENDMENT NO. 2015-01 – HOUSING ELEMENT UPDATE 2013-2023

Director Staples gave a presentation reviewing the process required for the upcoming housing element update. He stated that they will be starting soon and working on this procedure over the next several months.

5. REPORT ON ANNEXATION AD HOC COMMITTEE MEETING, JANUARY 8, 2015

Director Staples presented the Commissioners with the presentation that was shared with the Annexation Ad Hoc Committee at their first meeting January 8, 2015. He informed the Commissioners that Mayor Miller would serve as the Chair for the Committee with Chairman Orrin serving as the Vice Chair. The Committee intends to meet quarterly at this time and that might change as they get further into the process.

Chairman Orrin shared that annexation is a complicated process affected by registered voters, landowners and tenants. That the city takes on the responsibility of the infrastructure and maintenance of the neighborhoods annexed and that negotiations with the County will be required to make sure that there is tax base to handle these requirements.

6. PLANNING DIRECTOR REPORT

Director Staples announced the following:

- There will be a new Office Assistant in the Planning Department starting in February.
- Staff is still working to get the iPads for the Commissioners and hope to have them ready by next meeting.
- April meeting may need to be changed to April 8th due to a possible schedule conflict.
- It is expected that there will be a new Commissioner appointed to the Commission before their next meeting in February.

7. CITY ATTORNEY STATEMENTS

There were none.

8. COMMISSIONER COMMENTS

Commissioner Jones invited everyone to attend the Chamber Installation Dinner on February 5th.

Commissioner Orrin welcomed everyone back from the holiday break and reminded everyone that Valentine's Day is coming up next month.

9. IDENTIFICATION OF REPRESENTATIVE TO THE CITY COUNCIL

Commissioner Jones was selected to be the representative to the City Council for February 3rd meeting.

ADJOURNMENT

With no further business to conduct it was moved by Leikam, seconded by Jones and approved unanimously, to adjourn the meeting at [6:54:18 PM](#).

Yvette Mayfield, City Clerk

Ron Orrin, Chairman



City of Taft Planning Commission Staff Report

Agenda Item: #4

DATE: February 18, 2015

TO: Chairman Orrin and Members of the Planning Commission

FROM: Mark Staples, Director
Planning and Community Development

SUBJECT: Conditional Use Permit 2014-19 – Bank of America ATM Kiosk, 900 Kern Street

RECOMMENDATION: Adopt Resolution 2015-01 approving Conditional Use Permit 2014-19 to install a new Bank of America ATM walk-up kiosk at an existing commercial parking lot, on the southeast corner of a 0.76 acre lot with an existing 4,448 square foot multi-tenant commercial building, within the General Commercial (GC) Zone District located at 900 Kern Street

LOCATION: 900 Kern Street, Taft, CA 93268 (APN 032-030-18)

PROPERTY OWNER: CAT Harbor Properties III, LLC
2000 Oak Street
Bakersfield, CA 93301

APPLICANT: Leslie Robidoux
Little Architects
1901 Newport Blvd, Ste 300
Costa Mesa, CA 92627

PROJECT DATA:

- 1. General Plan:** Mixed Use
- 2. Zoning:** General Commercial (GC)
- 3. Access/Circulation:** Kern Street, 9th Street, and 10th Street

PROJECT ANALYSIS:

The applicant, Little Architects, is proposing to install a new Bank of America ATM walk-up kiosk at an existing commercial parking lot, on the southeast corner of a 0.76 acre lot with an existing 4,448 square foot multi-tenant commercial building, within the General Commercial (GC) Zone District located at 900 Kern Street. The project site is located on the north side of Kern Street between 9th and 10th Street. The site currently contains one building with three tenants, Pizza Hut, Extreme Wireless dba Verizon Wireless, and Advance America. The project site is surrounded by retail commercial uses to the north and west, a Fastrip gas station to the south, and the West Kern Water District offices and the Taft Community Garden to the east.

The proposed walk-up ATM kiosk will occupy approximately 167 square feet of area at the southeast corner of the project site where two aisles of parking space intersect. The kiosk will approximately be 11-feet tall; will include a projecting canopy for weather protection, ADA accessible paths from the parking lot and sidewalk along Kern Street, along with security lighting from two new 25-foot tall light standards and under canopy lights. Additionally, some existing landscaping will be removed from the southeast corner of the site to accommodate the kiosk, as well as, the relocation of the existing Pizza Hut pole sign.

As the uses within the existing building consists of a mix of retail and restaurant/dining area uses, the parking requirement per the Zoning Ordinance is one parking space per 250 square feet of retail area and 80 square feet of the restaurant/dining area inside the Pizza Hut. Therefore, the project is required to provide a minimum of 24 parking spaces, of which one space is a van accessible handicap space. The existing parking area includes a total of 42 spaces, of which 2 are accessible handicap spaces. The proposed project will reduce the overall parking space count to 38 spaces, but will add a third accessible handicap space.

The applicant had made initial contact with City staff in October 2014 regarding planning application and building requirements for the kiosk at the 900 Kern Street property. City staff received the application package on November 24, 2014, with the original kiosk location immediately adjacent to the access driveway along the southern property line on Kern Street. City staff issued an incomplete letter to the applicant on December 10, 2014, as some application materials were missing and further details were needed on the plans to accurately describe the project. City staff received a revised set of project plans on January 20, 2015, with the kiosk location moved to the current location. As the items in the incomplete letter were addressed, the Planning Director approved the project to move on to the Planning Commission for review and approval. Below is a table that details how the proposed project complies with the General Commercial (GC) Zone District.

General Commercial (GC) Zone Development Standard Compliance

Development Standard	Required	Provided
Minimum Parcel Size	6,500 s.f. (0.15 acres)	0.76 acres
Minimum Site Width	65 feet	~98.6 feet
Minimum Site Depth	100 feet	~212.92 feet
Minimum Setback:		
Front	0 feet	~5 feet
Side	0 feet	~30 feet
Rear	0 feet	~300 feet
Maximum Building Height	50 feet	11 feet
Maximum Lot Coverage	60% (522,720 s.f./12.0 acres)	22,400 s.f./0.51 acres – 4.3%
Parking: Restaurant/Dining Area	1 space per 80 s.f.	600 s.f./80 = 8 spaces
Retail	1 space per 250 s.f	3,848 s.f./250 = 16 spaces
Total	24 spaces	38 spaces (3 ADA)

CEQA:

The project is exempt from the requirements of the California Environmental Quality Act (CEQA) as set forth in Section 15303 of the CEQA Guidelines (New Construction or Conversion of Small Structures).

ATTACHMENTS:

1. Resolution No. 2015-01
2. Vicinity Map
3. Site Plan, Floor Plan, Details
4. Color Rendering of Kiosk
5. Photos of Existing Kiosks

RESOLUTION NO. 2015-01

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TAFT APPROVING CONDITIONAL USE PERMIT NO. 2014-19 TO INSTALL A NEW BANK OF AMERICA ATM WALK-UP KIOSK AT AN EXISTING COMMERCIAL PARKING LOT, ON THE SOUTHEAST CORNER OF A 0.76 ACRE LOT WITH AN EXISTING 4,448 SQUARE FOOT MULTI-TENANT COMMERCIAL BUILDING, WITHIN THE GENERAL COMMERCIAL (GC) ZONE DISTRICT LOCATED AT 900 KERN STREET

WHEREAS, the applicant, Little Architects, has proposed a Conditional Use Permit to install a new Bank of America ATM walk-up kiosk at an existing commercial parking lot, on the southeast corner of a 0.76 acre lot with an existing 4,448 square foot multi-tenant commercial building, within the General Commercial (GC) Zone District located at 900 Kern Street in the City of Taft, County of Kern; and

WHEREAS, notice of a public hearing was published, posted, and mailed to surrounding property owners to consider the proposed project in accordance with City's Zoning Ordinance and applicable laws; and

WHEREAS, the Planning Commission studied and considered the written findings for approval of Conditional Use Permit No. 2014-19, City Staff's written and oral reports, and all public testimony before making a decision on this request, and

WHEREAS, the laws and regulations relating to the preparation and adoption of environmental documents, as set forth in the State Guidelines Implementing the California Environmental Quality Act have been adhered to; and

WHEREAS, the Planning Commission has fully considered this request and the potential environmental effects.

NOW, THEREFORE, THE PLANNING COMMISSION DOES HEREBY FIND, DETERMINE, RESOLVE, AND RECOMMEND AS FOLLOWS:

1. The proposed use is permitted within the General Commercial (GC) zone district pursuant to the provisions of this section, complies with all applicable provisions of the Zoning Ordinance, is consistent with the goals, policies, and objectives of the General Plan, and is consistent with the applicable development policies and standards of the City; and
2. The proposed use would not impair the integrity and character of the General Commercial (GC) zone district; and
3. The site is suitable for the type and intensity of the proposed use; and

4. There are adequate provisions for public utilities and services to ensure the public health and safety; and
5. The proposed use will not be detrimental to the public health, safety, or welfare, or materially injurious to the properties and improvements in the vicinity; and
6. The proposed amendment is exempt from the California Environmental Quality Act pursuant to Section 15303 of the CEQA Guidelines (New Construction or Conversion of Small Structures).

ATTACHMENTS:

Conditional Use Permit No. 2014-19, Conditions of Approval

PASSED AND ADOPTED on this 18th day of February, 2015.

ATTEST

Yvette Mayfield, City Clerk

Ron Orrin, Chairman

CERTIFICATION

I, Yvette Mayfield, hereby certify that the foregoing resolution was passed and adopted by the Planning Commission of the City of Taft at a regularly scheduled meeting held on the 18th day of February, 2015, by the following vote

AYES:

NOES:

ABSENT:

ABSTENTIONS:

Yvette Mayfield, City Clerk



CONDITIONS OF APPROVAL CONDITIONAL USE PERMIT NO. 2014-19
Location: 900 Kern Street (APN 032-030-18)
Acceptance of Conditions

General Conditions

1. Approval of this project is conditioned upon the applicant defending, indemnifying and holding harmless the City, its agents, officers, consultants, and/or employees.
2. The safety and security of the site shall satisfy and be in compliance with all applicable Local, County, State, Special District, and Federal regulations, California Building Code, and California Occupational Safety and Health Association (CAL/OSHA).
3. This site is subject to all applicable City of Taft ordinances, regulations, standards and policies.
4. The applicant acknowledges that the City of Taft may incur engineering expenses by its City Engineer for Conditional Use Permit No. 2014-19 and agrees to reimburse the City within thirty (30) days of receiving an invoice from the City of Taft associated with these engineering expenses.

Building Department/ Public Works Department/ City Engineer

1. The applicant shall obtain necessary permits and/or approvals from all agencies (i.e. Building Permits) having jurisdiction over property being occupied and/or developed.
2. All improvements shall comply with American with Disabilities Act standards and regulations (ADA).
3. Contractors and subcontractors shall obtain a business license from the City prior to beginning any work.
4. The applicant shall apply for a building permit for the relocation of the existing pole sign at the southeast corner of the project site. Any design changes or modification to the pole sign shall require a Sign Plan Review application and review with the Planning Department.

Kern Fire Department

1. The applicant shall comply with all requirements of the Kern County Fire Department.
2. The applicant shall provide adequate emergency ingress/egress to the proposed building site, per Kern County Fire Department requirements.

Planning Department

1. The applicant shall develop the property, by installing a new Bank of America walk-up kiosk occupying approximately 167 square feet of an existing parking lot of a commercial property, consistent with the approved plans on file with the Planning Department.
2. The applicant shall maintain the required parking spaces for the existing retail and restaurant/dining area uses within the existing commercial building which is one (1) space per 80 square feet of restaurant/dining area, and one (1) space for every 250 square feet of retail area. The applicant shall relay asphalt (as necessary) and restripe the parking spaces adjacent to the kiosk to meet parking standards in Chapter 14 of the Taft Zoning Ordinance and ADA parking requirements.
3. The applicant shall repair and replace landscaping and irrigation lines in the southeast corner of the

ABBREVIATIONS

&	AND	JAN	JANITOR
L	ANGLE	JT	JOINT
@	AT	KIT	KITCHEN
Ø	DIAMETER	LAB	LABORATORY
∠	PERPENDICULAR	LAM	LAMINATE
#	POUND OR NUMBER	LAV	LAVATORY
(E)	EXISTING	LCKR	LOCKER
ACOUS	ACOUSTICAL	LT	LIGHT
A.D.	AREA DRAIN	MAX	MAXIMUM
ADJ.	ADJUSTABLE	M.C.	MEDICINE CABINET
A.F.F.	ABOVE FINISH FLOOR	MECH	MECHANICAL
AGGR	AGGREGATE	MEMB	MEMBRANE
AL	ALUMINUM	MFR	MANUFACTURER
APPROX	APPROXIMATE	MH	MANHOLE
ARCH	ARCHITECTURAL	MIN	MINIMUM
ASB	ASBESTOS	MIR	MIRROR
ASPH	ASPHALT	MISC	MISCELLANEOUS
BD	BOARD	M.O.	MASONRY OPENING
BITUM	BITUMINOUS	MTD	MOUNTED
BLDG	BUILDING	MUL	MULLION
BLK	BLOCK	N	NORTH
BLKG	BLOCKING	N.I.C	NOT IN CONTRACT
BM	BEAM	NO. OR #	NUMBER
BOT	BOTTOM	NOM	NOMINAL
B.O.J.	BOTTOM OF JOIST	N.T.S	NOT TO SCALE
B.T.B	BACK TO BACK	O.A	OVERALL
CAB	CABINET	OBS	OBSCURE
C.B.	CATCH BASIN	O.C.	ON CENTER
CEM	CEMENT	O.D.	OUTSIDE DIAMETER
CER	CERAMIC	OFF	OFFICE
C.I.	CAST IRON	OPNG	OPENING
CLG	CEILING	OPP	OPPOSITE
CLO	CLOSET	PRCST	PRECAST
CLR	CLEAR	PL	PLATE
COL	COLUMN	P.LAM	PLASTIC LAMINATE
CONC	CONCRETE	PLAS	PLASTER
CONSTR	CONSTRUCTION	PLYWD	PLYWOOD
CONT	CONTINUOUS	PR	PAIR
CORR	CORRIDOR	PT	POINT
CTSK	COUNTERSUNK	P.T.D.	PAPER TOWEL DISPENSER
CNTR	COUNTER	P.T.D.R	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE
CTR	CENTER	Q.T	QUARRY TILE
DBL	DOUBLE	R	RISER
DEPT	DEPARTMENT	RAD	RADIUS
D.F.	DRAINING FOUNTAIN	R.D.	ROOF DRAIN
DET	DETAIL	REF	REFERENCE
DIA	DIAMETER	REFR	REFRIGERATOR
DNM	DIMENSION	RGTR	REGISTER
DISP	DISPENSER	REINF	REINFORCED
DN	DOWN	REQ'D	REQUIRED
D.O.	DOOR OPENING	RESIL	RESILIENT
DR	DOOR	RM	ROOM
DWR	DRAWER	R.O.	ROUGH OPENING
DS	DOWNSPOUT	RWD	REDWOOD
D.S.P.	DRY STANDPIPE	R.W.L.	RAIN WATER LEADER
DWG	DRAWINGS	S	SOUTH
E	EAST	S.C.	SOLID CORE
EA	EACH	S.C.D	SEAT COVER DISPENSER
E.L.	EXPANSION JOINT	SCHED	SCHEDULE
EL	ELEVATION	S.D	SOAP DISPENSER
ELEC	ELECTRICAL	SECT	SECTION
ELEV	ELEVATOR	SHR	SHIEF
EMER	EMERGENCY	SHT	SHEET
ENCL	ENCLOSURE	SN	SIMILAR
E.P.	ELECTRICAL PANEL	S.N.R	SANITARY NAPKIN DISPENSER
EQ	EQUAL	S.NT	SANITARY NAPKIN RECEPTACLE
EQPT	EQUIPMENT	SEALNT	SEALANT
E.W.C.	ELECTRICAL WATER CODE	SPEC	SPECIFICATION
(E)	EXISTING	SQ	SQUARE
EXIST	EXISTING	S.S	STAINLESS STEEL
EXPO	EXPOSED	S.SK	SERVICE SINK
EXP	EXPANSION	STA	STATION
EXT	EXTERIOR	STD	STANDARD
F.A.	FIRE ALARM	STL	STEEL
F.B.	FLAT BAR	STOR	STORAGE
F.D.	FLOOR DRAIN	STR	STRUCTURAL
FDN	FOUNDATION	SUSP	SUSPENDED
F.E.	FIRE EXTINGUISHER	SYM	SYMMETRICAL
F.E.C.	FIRE EXTINGUISHER CAB	TRD	TREAD
F.H.C	FIRE HOSE CABINET	T.B.	TOWEL BAR
FN	FINISH	T.C.	TOP OF CURB
FL	FLOOR	TEL	TELEPHONE
FLASH	FLASHING	TER	TERRAZO
FLOR	FLOURECENT	T&G	TOUNGE & GROOVE
F.O.C	FACE OF CONCRETE	THK	THICK
F.O.F.	FACE OF FINISH	T.P.	TOP OF PAVEMENT
F.O.S	FACE OF STUDS	T.P.D	TOILET PAPER DISPENSER
FRF	FIREPROOF	T.V.	TELEVISION
F.S	FULL SIZE	T.W.	TOP OF WAIT
FT	FOOT OR FEET	TYP	TYPICAL
F.T.	FIRE TREATED	UNF	UNFINISHED
FTG	FOOTING	U.O.N.	UNLESS OTHERWISE NOTED
FURR	FURRING	UR	URNAL
FUT	FUTURE	V.C.T	VINYL COMPOSITION TILE
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZED	VEST	VESTIBULE
G.B.	GRAB BAR	V.F.	VERIFY IN FIELD
G.C.	GENERAL CONTRACTOR	W	WEST
GL	GLASS/GLAZING	W.	WITH
GND	GROUND	W.C.	WATER CLOSET
GR	GRADE	WD	WOOD
GYP	GYPSPUM	WID	WITHOUT
H.B.	HOME BID	WP	WATERPROOF
H.C.	HOLLOW CAB	WSCOT	WAINSCOT
HDWD	HARDWOOD	WT	WEIGHT
HDWE	HARDWARE		
H.M	HOLLOW METAL		
HORIZ	HORIZONTAL		
HR	HEIGHT		
HGT	HEIGHT		
I.D.	INSIDE DIAMETER		
INSUL	INSULATION		
INT	INTERIOR		

APN:

032-030-18

ZONING:

GENERAL COMMERCIAL

LIFE SAFETY SYSTEM REQUIREMENTS

EMERGENCY LIGHTING:	<input type="checkbox"/> No	<input type="checkbox"/> Yes
EXIT SIGNS:	<input type="checkbox"/> No	<input type="checkbox"/> Yes
FIRE ALARM:	<input type="checkbox"/> No	<input type="checkbox"/> Yes
SMOKE DETECTION SYSTEMS:	<input type="checkbox"/> No	<input type="checkbox"/> Yes
PANIC HARDWARE:	<input type="checkbox"/> No	<input type="checkbox"/> Yes
SPRINKLERS:	<input type="checkbox"/> No	<input type="checkbox"/> Yes

BUILDING REQUIREMENTS

1. G.C. PROVIDE CERTIFICATION OF ALL ELECTRICAL, MECHANICAL, AND PLUMBING FIXTURES BY CALIFORNIA ENERGY COMMISSION.

EXIT WIDTH

NUMBER OF INCHES OF DOORS REQUIRED	X" REQUIRED (TABLE 105.1).(15xOCCUPANT LOAD); 32" MIN WIDTH REQUIRED AT EACH EGRESS
NUMBER OF INCHES OF DOORS PROVIDED	X" PROVIDED (ADD LENGTH OF OPENINGS)

EXIT REQUIREMENTS NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS		TRAVEL DISTANCE		REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL STRAIGHT LINE DISTANCE BETWEEN EXITS
	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE W/O SPRINKLER (TABLE 1016.1)	DEAD END LIMIT		
	N/A	N/A	200'	20'	DISTANCE BETWEEN EXITS SHALL NOT BE LESS THAN THE DIAGONAL DISTANCE DIVIDED BY 2. SECTION 1015.2.1 EXCEPTIONS 2	N/A

PROJECT DIRECTORY

<p>CLIENT: BANK OF AMERICA JONES LANG LASALLE AMERICAS, INC PROJECT MANAGER: CHRISTINE RICH PH: (714) 315-0905</p> <p>PROPERTY OWNER: CAT HARBOR PROPERTIES III, LLC</p> <p>GOVERNING AGENCY: PLANNING AND DEVELOPMENT 209 E. KERN ST. TAFT, CA 93268 PH: (661) 763-1222</p>	<p>ARCHITECT: LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING 1901 NEWPORT BLVD., SUITE 300 COSTA MESA, CA 92627 PH: (714) 424-0001</p> <p>PRINCIPAL IN CHARGE: DOUGLAS E. ROBIOUX PROJECT MANAGER: LESLIE D. ROBIOUX PH: (949) 698-1402 FAX: (949) 698-1433</p>	<p>ELECTRICAL ENGINEER: LINWOOD ENGINEERING ASSOCIATES 2301 DUPONT DR. SUITE 150 IRVINE, CA 92612 CONTACT: ADAM FRANKLIN PH: (714) 424-0001 FAX: (714)424-0004</p> <p>STRUCTURAL ENGINEER: WONG & ASSOCIATES 180 S. PROSPECT AVE. STE. 110 TUSTIN, CA 92780 CONTACT: ARVY WONG PH: (714) 838-9828 FAX: (714) 838-9827</p>
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GENERAL NOTES

- REFER TO OWNER SUPPLIED MATERIAL SCHEDULE ISSUED AT THE START OF CONSTRUCTION.
- SCHEDULE CANNOT BE ALTERED BY GC UNLESS REVIEWED & APPROVED BY THE DIRECTOR OF CONSTRUCTION.
- WITHIN TWO (2) DAYS OF START OF CONSTRUCTION, THE GENERAL CONTRACTOR SHALL PROVIDE TO THE TENANT AND ARCHITECT: A DIMENSIONAL SKETCH SHOWING ANY EXISTING OBSTRUCTIONS WHICH CONFLICT WITH THE CONTRACT. IF ARCHITECT IS NOT NOTIFIED WITHIN THIS PERIOD OF ANY CHANGE ORDERS REQUIRED DUE TO EXISTING CONDITIONS, IT SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACT AMOUNT WILL NOT BE ADJUSTED FOR THESE ISSUES.
- GENERAL CONTRACTOR SHALL OBTAIN AND ACKNOWLEDGE RECEIPT OF THE TENANT CONSTRUCTION MANUAL AND SHALL BECOME FAMILIAR WITH ALL CONSTRUCTION RULES AND PROCEDURES AS SET FORTH BY THE LANDLORD AND GOVERNING AUTHORITIES PRIOR TO COMMENCING WORK. WORK REQUIRED TO TAKE PLACE AT NIGHT OR DURING OFF HOURS SHALL BE VERIFIED WITH THE LANDLORD'S REPRESENTATIVE AND ITS COST TO BE INCLUDED IN THE BID. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING MALL FINISHES THAT ARE TO REMAIN.
- INSURANCE CERTIFICATES, LIST OF SUBCONTRACTORS AND BUILDING PERMITS MUST BE COPIED AND FILED WITH THE TENANT COORDINATOR PRIOR TO COMMENCING CONSTRUCTION.
- GENERAL CONTRACTOR AND SUBCONTRACTORS MUST NOTIFY THE TENANT COORDINATOR OR LANDLORD AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
- GENERAL CONTRACTOR TO SUBMIT A COMPLETE WORK SCHEDULE TO THE ARCHITECT, OWNER AND THE LANDLORD CONTACT BEFORE CONSTRUCTION BEGINS.
- THERE SHALL BE A PRE-CONSTRUCTION CONFERENCE ATTENDED BY THE TENANT COORDINATOR, TENANT CONTRACTOR AND GENERAL CONTRACTOR, AND APPROPRIATE SUBCONTRACTORS PRIOR TO COMMENCEMENT OF ANY WORK.
- IF ANY CONFLICTS OR DISCREPANCIES EXIST WITHIN THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY ARCHITECT AND UNLESS INSTRUCTED OTHERWISE IN WRITING, ASSUME THE MORE EXTREME CONDITION APPLIES.
- DO NOT USE PERMIT/LANDLORD BID SETS FOR CONSTRUCTION: ALL CONSTRUCTION SHOULD FOLLOW THE CONSTRUCTION SET ONLY, UNLESS DIRECTED BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL CONTRACT DOCUMENTS AND OF THE VARIOUS TRADES UNDER HIS CONTRACT.
- AIA DOCUMENTS A201 & A101 (LATEST EDITION) SHALL APPLY TO ALL WORK AND MATERIALS REQUIRED FOR COMPLETION OF THIS PROJECT.
- THE CONTRACTOR MUST COMPREHEND AND COMPLY WITH THE NATURE, LOCATION, GENERAL CONDITIONS AND LOCAL CONDITIONS INCLUDING THOSE BEARING UPON TRANSPORTATION CODES AND ORDINANCES, DISPOSAL, HANDLING AND STORAGE OF MATERIALS, AVAILABILITY OF LABOR, TYPE OF PAYMENT AND FACILITIES REQUIRED TO DO SO PROPERLY.
- THE CONTRACTOR SHALL SUBMIT FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES AND LICENSES REQUIRED TO PERFORM THE WORK. A COPY OF SUCH PERMITS SHALL BE FURNISHED TO THE OWNER. CONTRACTOR SHALL GIVE NOTICES AND PAY FOR INSPECTIONS AND TESTS.
- THE WORK SHALL BE LAID OUT FROM DIMENSIONS SHOWN ON THE DRAWINGS ONLY. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL WORK FROM MOST RECENT DRAWINGS SUPPLIED BY OWNER OR ARCHITECT.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS MUST BE LICENSED IN THE STATE IN WHICH THIS PROJECT IS LOCATED, AND CONTRACTORS OBTAINING PERMITS SHALL HAVE A CITY BUSINESS LICENSE, OR AS REQUIRED BY THE BUILDING DEPARTMENT.
- REFER TO THE SPECIFICATIONS FOR FUTURE INFORMATION.

Bank of America



WU KIOSK

900 KERN AVE.

TAFT, CA, 93268

AGENCY CODE REVIEW

BUILDING CODE	2013 CALIFORNIA BUILDING CODE
ELECTRICAL CODE	2013 CALIFORNIA ELECTRICAL CODE
MECHANICAL CODE	2013 CALIFORNIA MECHANICAL CODE
PLUMBING CODE	2013 CALIFORNIA PLUMBING CODE
FIRE CODE	2013 CALIFORNIA FIRE CODE
ENERGY CONSERVATION	2010 CALIFORNIA ENERGY CODE

DRAWING INDEX

ARCHITECTURAL	
A00.00	COVER SHEET
A00.50	EXISTING OVERALL SITE PLAN
A00.51	PROPOSED SITE PLAN
A02.01	ENLARGED PROPOSED PARTIAL SITE PLAN
REFERENCE DRAWINGS	
A12.02	EXISTING SITE PHOTOS

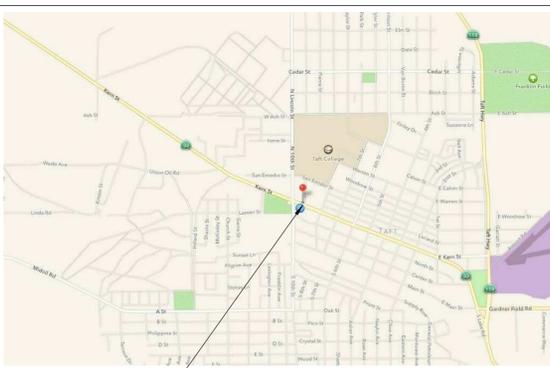
SCOPE OF WORK:

- NEW BANK OF AMERICA WALK-UP ATM KIOSK AT EXISTING COMMERCIAL PARKING LOT MODIFIED ADJACENT ACCESSIBLE PARKING AND PATH OF TRAVEL
- ATM KIOSK WILL BE REMOVED AND PARKING SPACES RESTRIPTED AT SUCH TIME THE KIOSK IS NO LONGER IN USE FOR MORE THAN (6) SIX MONTHS. THE REMOVAL AND PARKING RESTORATION WORK SHALL BE PERFORMED BY THE PREVIOUS BANKING INSTITUTION AND/OR THE PROPERTY OWNER.

SITE PLAN



SITE LOCATION



BANK OF AMERICA



WU Kiosk

900 Kern Ave.
Taft, CA 93268

MANHATTAN ID: CA0-101
SERIAL:
NRSP VERSION:
BULLETIN:

LITTLE

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Issue	Date & Issue Description	By	Check
1	11.21.14 PLANNING SUBMITTAL	VH	LR
2	01.10.15 PLANNING COMMENTS	VH	LR

Seal/Signature

Project Name
**BANK OF AMERICA
CONSTRUCTION DOCUMENTS**

PROJECT NUMBER
623.2873.00

Description
COVER SHEET

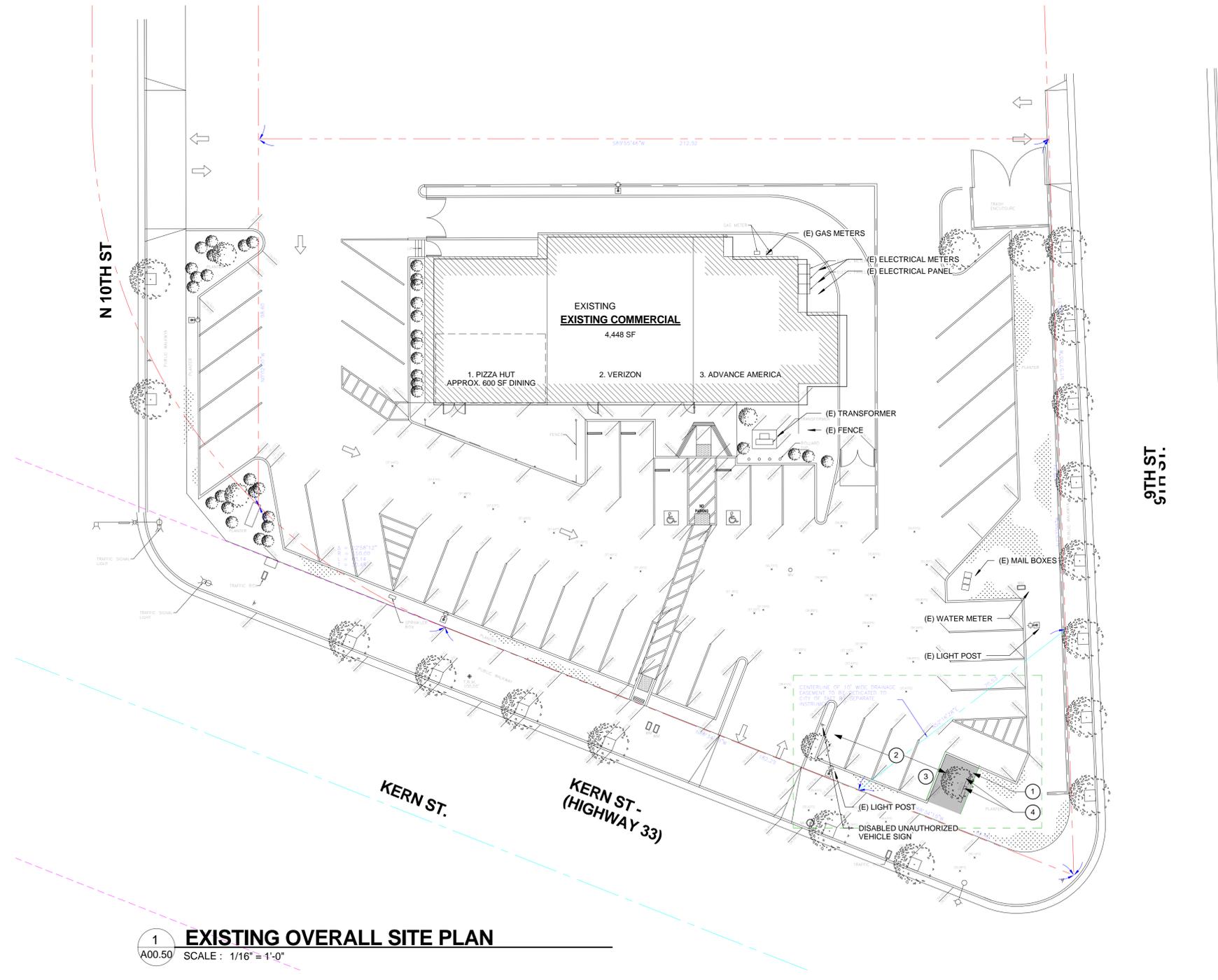
A00.00



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2	01.10.15 PLANNING COMMENTS	VH	LR



1 EXISTING OVERALL SITE PLAN
A00.50 SCALE: 1/16" = 1'-0"



FOR REFERENCE ONLY

REQUIRED PARKING	PARKING TABULATION	EXISTING PARKING PROVIDED
CITY OF TAFT: ZONING ORDINANCE CHAPTER 14	TOTAL RETAIL SQ.FT./250 SQ.FT. = 3,848 SQ.FT./250 = 16	(E) REGULAR STALLS: 40 SPACES
NUMBER OF SPACES REQUIRED FOR DESIGNATED USES	TOTAL DINING SQ.FT./80 SQ. FT. = 600 SQ.FT./80 = 8	(E) ACCESSIBLE STALLS: 02 SPACES
COMMERCIAL LESS THAN 750,000: 1/250 SF	24 SPACES REQUIRED	TOTAL 42 SPACES
DINING AREA: 1/80 SF		

PROPOSED SITE PLAN NOTES

- 1 PORTION OF EXISTING LANDSCAPE TO BE REMOVED +/- 129 SF. SEE A00.51 FOR EXTENT OF WORK.
- 2 EXISTING PARKING TO BE RECONFIGURED FOR NEW ATM KIOSK AND ACCESSIBLE PARKING. SEE A00.51 FOR EXTENT OF WORK.
- 3 PROPOSED LOCATION OF ATM KIOSK.
- 4 HATCHED AREA - REMOVE EXISTING TREE AND REPLANT IS APPROVED NEW LOCATION. RELOCATE EXISTING MONUMENTAL "PIZZA HUT" SIGN.

SHEET NOTES

- A EXISTING SITE PLAN IS SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS
- B G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- C SEE SHEET A00.51 FOR PROPOSED ATM SCOPE OF WORK
- D G.C. TO VERIFY 2% SLOPE IN ALL DIRECTIONS AT ACCESSIBLE STALL AND LOADING ZONE TO REMAIN.

Project Name
BANK OF AMERICA CONSTRUCTION DOCUMENTS

PROJECT NUMBER
623.2873.00

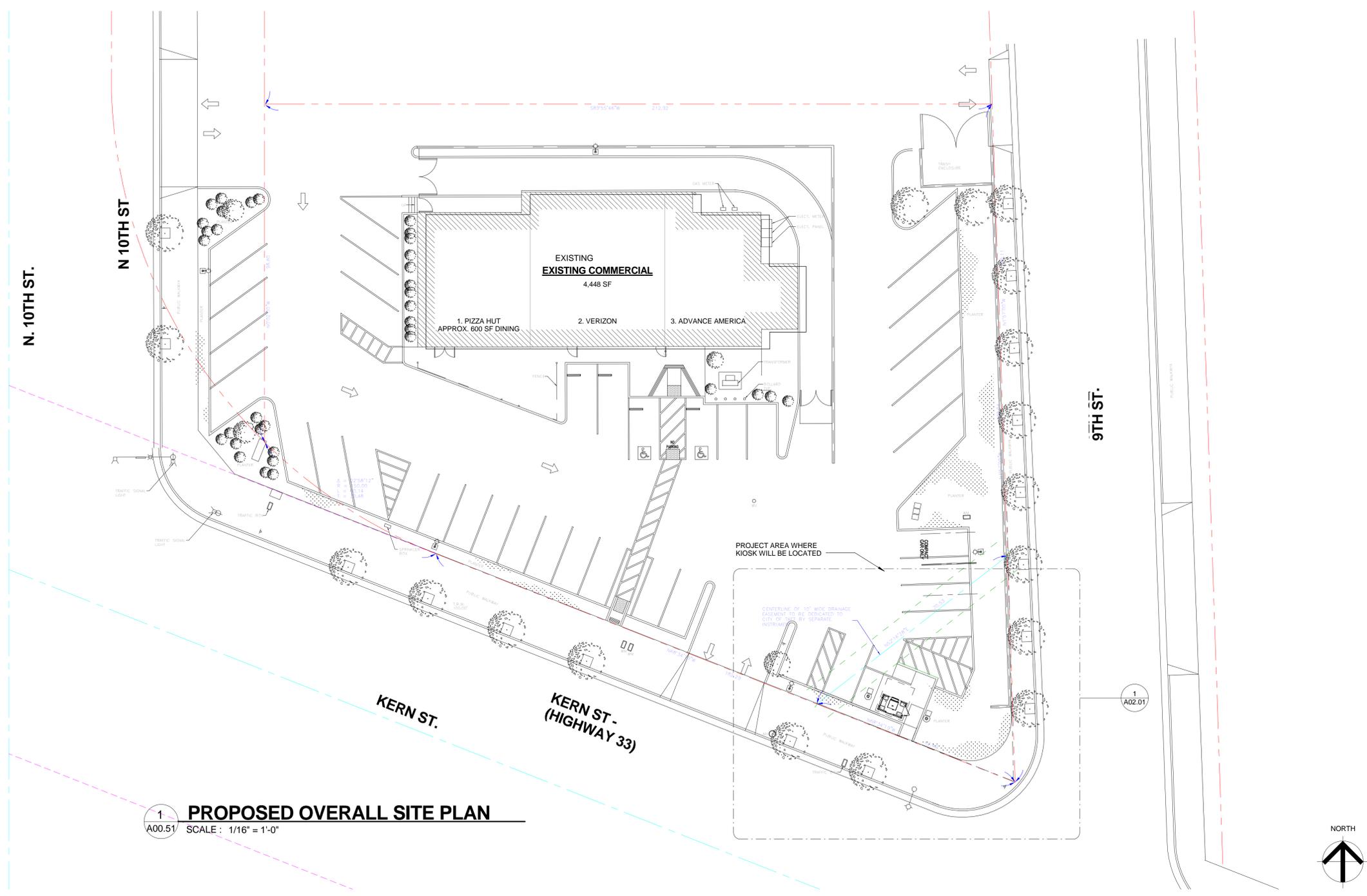
Description
EXISTING OVERALL SITE PLAN



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Issue	Date & Issue Description	By	Check
1	11.21.14 PLANNING SUBMITTAL	VH	LR
2	01.10.15 PLANNING COMMENTS	VH	LR



1 PROPOSED OVERALL SITE PLAN
A00.51 SCALE: 1/16" = 1'-0"

PROPOSED SITE PLAN NOTES

- 1 NEW ACCESSIBLE PARKING STALL. G.C. TO VERIFY 2% MAX SLOPE IN ALL DIRECTIONS.
- 2 NEW 4'-0" WIDE ACCESSIBLE PATH OF TRAVEL.
- 3 NEW ATM KIOSK.
- 4 NEW LANDSCAPE.
- 5 NEW LIGHT POLE - 25' A.F.F. (2'-0" BASE PLUS 23' HIGH LIGHT POLE AND FIXTURE) LIGHTING REQUIRED PER STATE OF CALIFORNIA FINANCIAL CODE FOR BANK SECURITY. LIGHT FIXTURE AND POLE TO MATCH EXISTING.
- 6 NEW COMPACT PARKING STALLS (X4)

SHEET NOTES

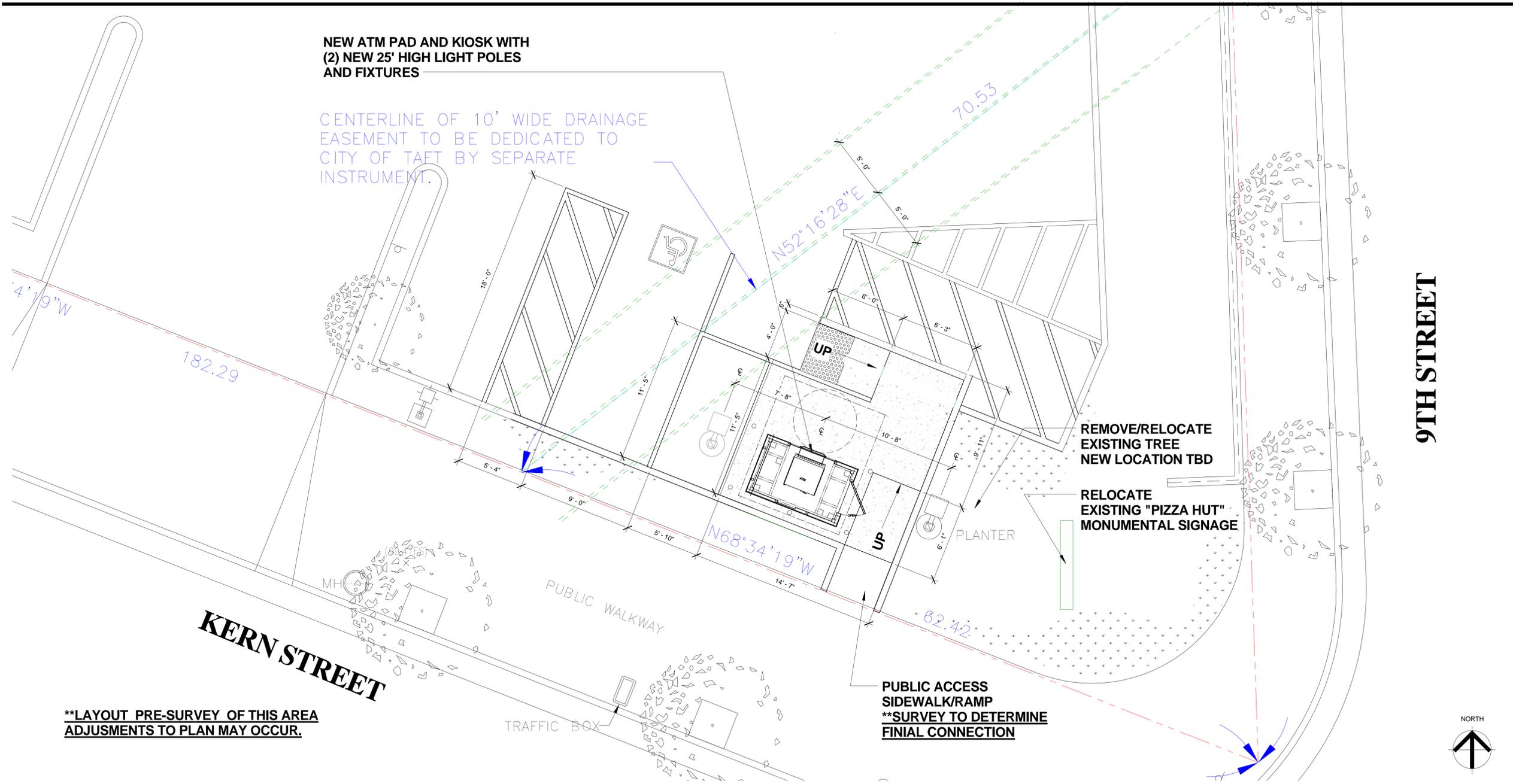
- | | |
|---|--|
| A | EXISTING SITE PLAN IS SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS |
| B | G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES. |
| C | SEE SHEET A02.01 FOR ENLARGED FLOOR PLAN. |
| D | G.C. TO PROVIDE 2% SLOPE IN ALL DIRECTIONS AT ACCESSIBLE STALL AND LOADING ZONE TO REMAIN. |

REQUIRED PARKING	PARKING TABULATION	EXISTING PARKING PROVIDED
CITY OF TAFT: ZONING ORDINANCE CHAPTER 14	TOTAL RETAIL SQ.FT. / 250 SQ.FT. = 3,848 SQ.FT. / 250 = 16	(E) REGULAR STALLS: 35 SPACES
NUMBER OF SPACES REQUIRED FOR DESIGNATED USES	TOTAL DINING SQ.FT. / 80 SQ. FT. = 600 SQ.FT. / 80 = 8	(E) ACCESSIBLE STALLS: 03 SPACES
COMMERCIAL LESS THAN 750,000: 1 / 250 SF	24 SPACES REQUIRED	TOTAL 38 SPACES
DINING AREA: 1/80 SF		

Project Name
BANK OF AMERICA CONSTRUCTION DOCUMENTS

PROJECT NUMBER
623.2873.00

Description
PROPOSED SITE PLAN



**NEW ATM PAD AND KIOSK WITH
(2) NEW 25' HIGH LIGHT POLES
AND FIXTURES**

CENTERLINE OF 10' WIDE DRAINAGE
EASEMENT TO BE DEDICATED TO
CITY OF TAFT BY SEPARATE
INSTRUMENT.

REMOVE/RELOCATE
EXISTING TREE
NEW LOCATION TBD

RELOCATE
EXISTING "PIZZA HUT"
MONUMENTAL SIGNAGE

PUBLIC ACCESS
SIDEWALK/RAMP
**SURVEY TO DETERMINE
FINIAL CONNECTION

****LAYOUT PRE-SURVEY OF THIS AREA
ADJUSMENTS TO PLAN MAY OCCUR.**

9TH STREET

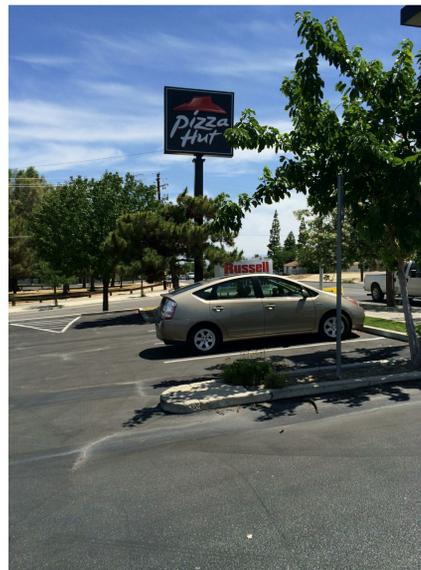
KERN STREET



VIEW TO ATM SITE 3



VIEW TO ATM SITE 2



VIEW TO ATM SITE 1



VIEW TO ENTRY DRIVE

BANK OF AMERICA

WU Kiosk

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Taft, CA 93268

MANHATTAN ID: CA0-101
SERIAL:
NRSP VERSION:
BULLETIN:



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Seal/Signature

Project Name
**BANK OF AMERICA
CONSTRUCTION DOCUMENTS**

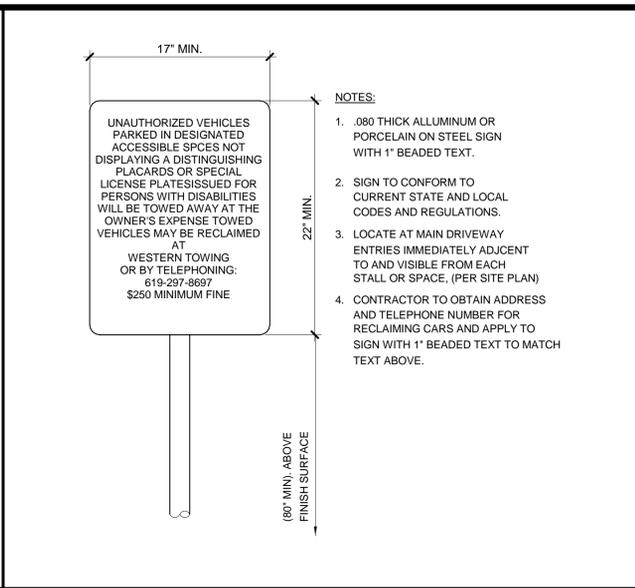
PROJECT NUMBER
623.2873.00

Description
ENLARGED PROPOSED PARTIAL SITE PLAN

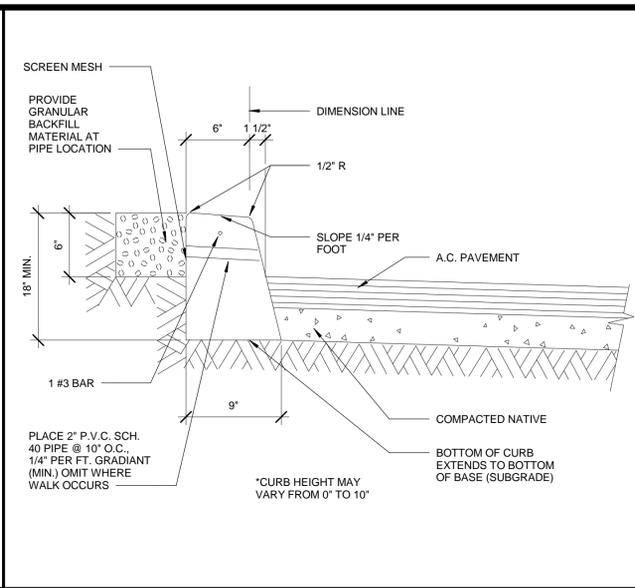
A02.01



TOW SIGN NOTIFICATION REFERENCE SHEET: 9 SCALE: 1 1/2" = 1'-0"

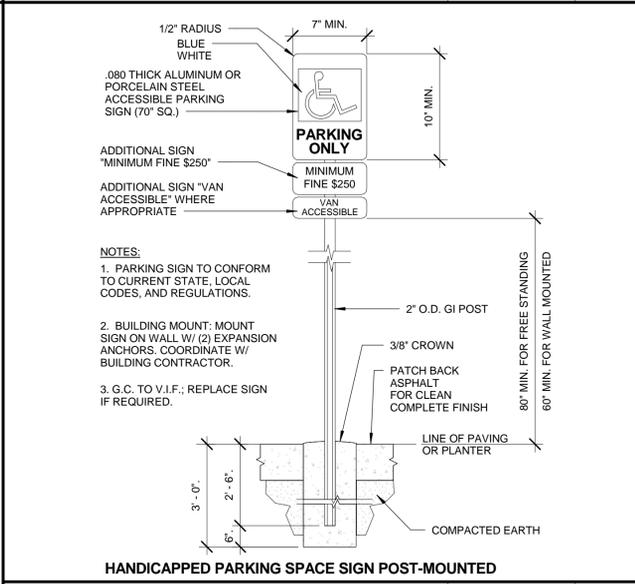


TYP. 6" CONCRETE CURB REFERENCE SHEET: 6 SCALE: 1 1/2" = 1'-0"

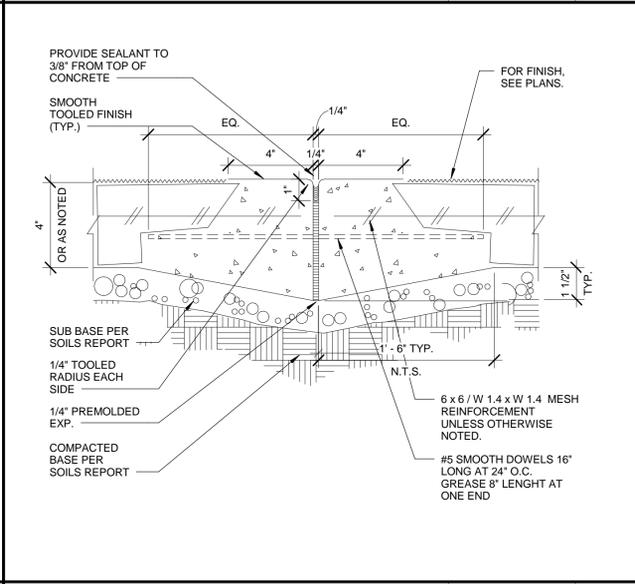


TRUNCATED DOMES REFERENCE SHEET: 3 SCALE: 3/4" = 1'-0"

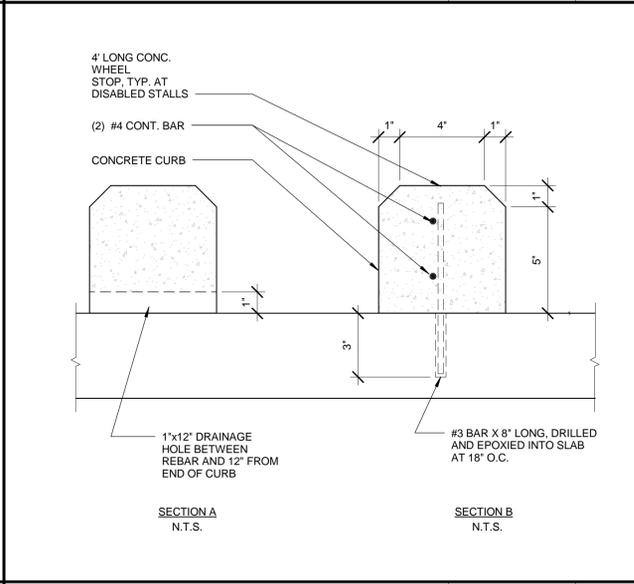
SECTION 10230 POST GUARD BOLLARD COVERS
PART 1 - GENERAL
1.1 SUMMARY
 A. (HDPE) High density plastic polyethylene Post Guard pipe sleeves for steel pipe bollards. Manufactured by Encore Commercial Products, Inc.
1.2 SYSTEM DESCRIPTION
 A. Performance Requirements.
 1. High molecular weight material. Designed for optimum balance of density, molecular weight and molecular weight distribution demonstrating maximum property advantages for large products that require high impact resistance.
 2. Ultraviolet Protection Additive. Five (5) Year UV stabilizer package. Warranty 5 years.
 3. Thickness Nominal wall thickness will be 0.1406 in.
 4. Anti Static Package. Combined in manufacturing process of HDPE.
 5. Abrasion Resistant.
 6. Environmental Stress Cracks Resistant.
 7. Reflective Tape: Each Post Guard has 2 strips of 3M Series Reflective tape recessed on the part 5.875 in. apart.
 8. Flexural Modulus: 200,000 psi.
 9. Tensile Strength: 4,000psi.
1.3 DELIVERY, STORAGE & HANDLING
 A. Product ships from inventory, typical ship date is 24 to 48 hrs. Contractor shall place order in a timely fashion to ensure construction schedule is not adversely impacted.
 B. Delivery: Deliver materials in manufacturer's original, unopened, undamaged containers with identification labels intact.
 C. Sleeves shall be warranted against fading or color change for a period of five years from the date of substantial completion. Sleeves not meeting this requirement shall be replaced at no cost to Bank of America.



HANDICAPPED PARKING SPACE SIGN POST-MOUNTED REFERENCE SHEET: 8 SCALE: 1 1/2" = 1'-0"

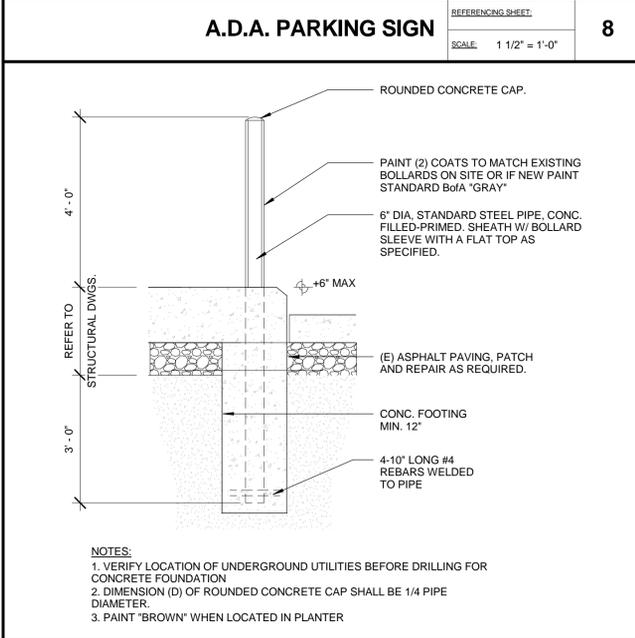


TYP. EXPANSION JOINT @ SIDEWALK REFERENCE SHEET: 5 SCALE: 3" = 1'-0"

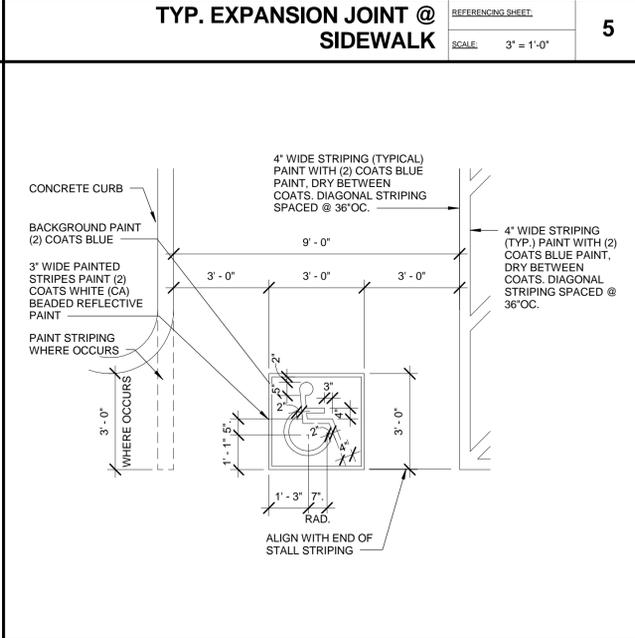


TYP. WHEEL STOP DETAIL REFERENCE SHEET: 2 SCALE: 3" = 1'-0"

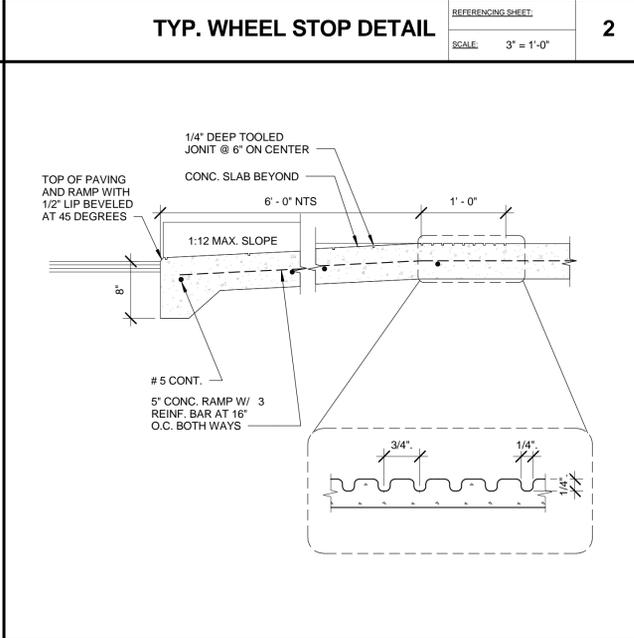
PART 2 - PRODUCTS
2.1 POST GUARD BOLLARD SLEEVES
 A. Manufacturer: Encore Commercial Products, Inc.
 1. Contact: Encore Commercial Products, Inc. 24370 Northwestern Hwy Ste 250 Southfield, MI 48075 Phone: 866-737-8900, 248-354-4090 Fax: 248-354-4095 www.postguard.com
2.2 MATERIALS
 A. HDPE Polyethylene.
 1. Size as per drawings and Bank of America requirements
 2. Standard color Grey.
 3. Tape color Red.
PART 3 - EXECUTION
3.1 EXAMINATION
 A. Verify the steel pipe cores are set true, correctly aligned and well anchored in below grade concrete encasement.
 B. Fill Cores with concrete and strike level across the top of pipe.
3.2 INSTALLATION
 A. Center two foam strips (included) over bollard. Slide the Post Guard over the bollard and foam will expand for a snug fit.



BOLLARD DETAIL REFERENCE SHEET: 7 SCALE: 1/2" = 1'-0"



PAINTED ACCESSIBILITY SYMBOL REFERENCE SHEET: 4 SCALE: 3/8" = 1'-0"



RAMP SECTION REFERENCE SHEET: 1 SCALE: 1" = 1'-0"

BOLLARD NOTES REFERENCE SHEET: 10 SCALE: 1/16" = 1'-0"

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 WU Kiosk
 900 Kern Ave.
 Taft, CA 93268
 MANHATTAN ID: CA0-101
 SERIAL:
 NRSP VERSION:
 BULLETIN:

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Issue	Date & Issue Description	By	Check
2	01.10.15 PLANNING COMMENTS	VH	LR

Seal/Signature

Project Name
BANK OF AMERICA
CONSTRUCTION DOCUMENTS
 PROJECT NUMBER
623.2873.00
 Description
DETAILS

A12.01



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NRSP VERSION:
BULLETIN:

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1	11.21.14 PLANNING SUBMITTAL	VH	LR

Seal/Signature

Project Name

**BANK OF AMERICA
CONSTRUCTION DOCUMENTS**

PROJECT NUMBER

623.2873.00

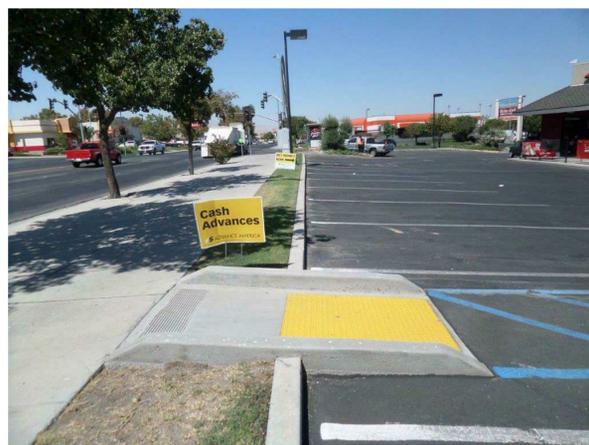
Description

EXISTING SITE PHOTOS

A12.02



VIEW "H"



VIEW "F"



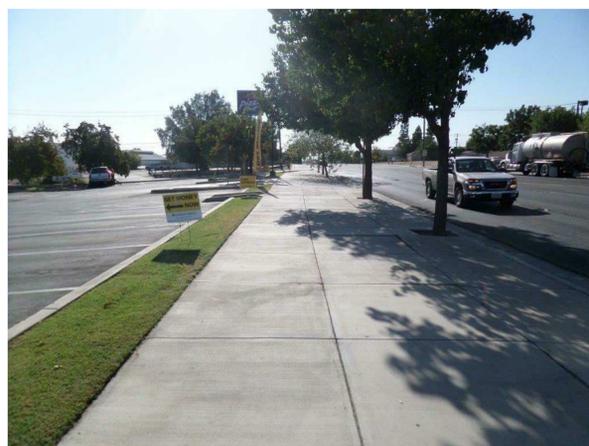
VIEW "D"



VIEW "B"



VIEW "G"



VIEW "E"

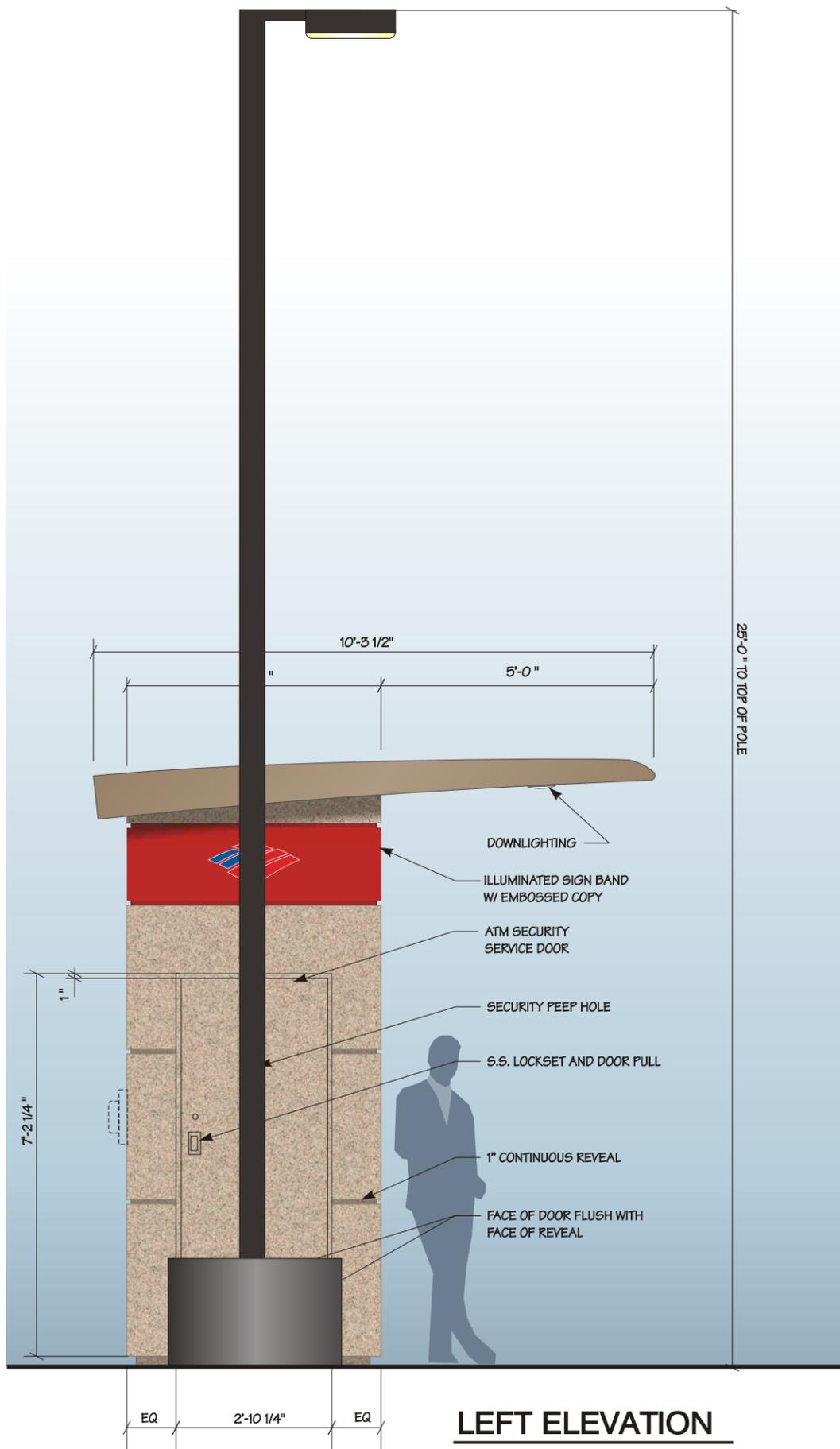


VIEW "C"



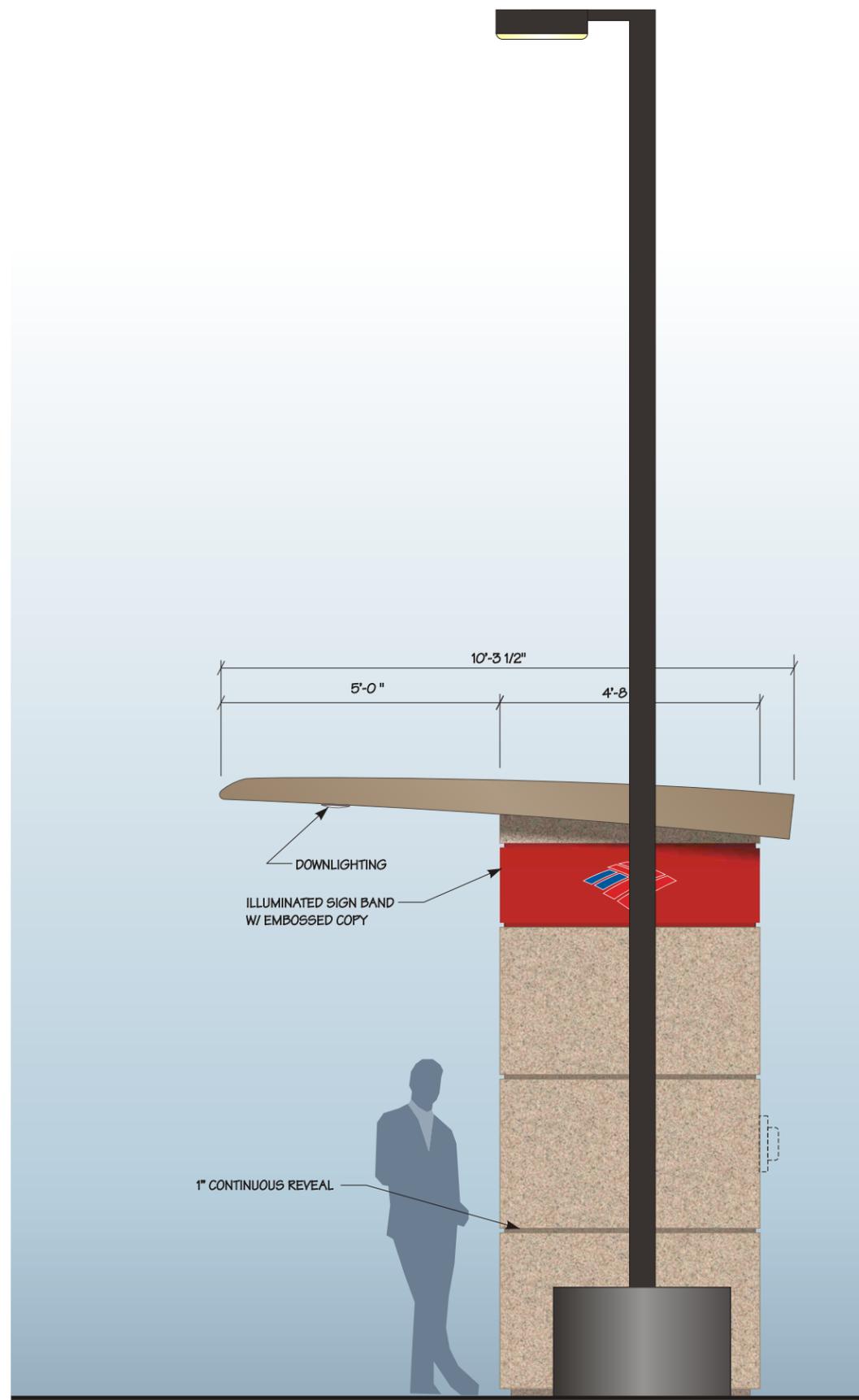
VIEW "A"

1 EXISTING SITE PHOTOS
A12.02 NOT TO SCALE



LEFT ELEVATION

SCALE: 3/8" = 1'-0"



RIGHT ELEVATION

SCALE: 3/8" = 1'-0"

DRAWINGS PREPARED BY



5058 Route 13 North Bristol, PA 19007
Office: 215.781.8500 Fax: 215.781.0400

PREPARED FOR:



LOCATION:

GENERIC STANDARD/CLEARANCE POLE

SUBMITTAL TYPE: APPROVAL

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SUBMITTAL IS:

- APPROVED
- APPROVED AS NOTED
- REVISE AND RESUBMIT

APPROVALS:

CLIENT/CONTRACTOR

DATE

NOTES:

**PRELIMINARY DRAWING
NOT FOR CONSTRUCTION**

REVISIONS

REV	DATE	DESCRIPTION

DRAWN BY: K. SHAW

DATE DRAWN: 6/16/08

JOB #: **UB1-GEN-LP**

SCALE: AS NOTED **SHEET #: 3**



5058 Route 13 North Bristol, PA 19007
Office: 215.781.8500 Fax: 215.781.0400

PREPARED FOR:



LOCATION:

GENERIC STANDARD/CLEARANCE POLE

SUBMITTAL TYPE: APPROVAL

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SUBMITTAL IS:

- APPROVED
- APPROVED AS NOTED
- REVISE AND RESUBMIT

APPROVALS:

CLIENT/CONTRACTOR _____

DATE _____

NOTES:

**PRELIMINARY DRAWING
NOT FOR CONSTRUCTION**

REVISIONS

REV	DATE	DESCRIPTION

DRAWN BY: K. SHAW

DATE DRAWN: 6/16/08

JOB #: **UB1-GEN-LP**

SCALE:
AS NOTED

SHEET #: 4



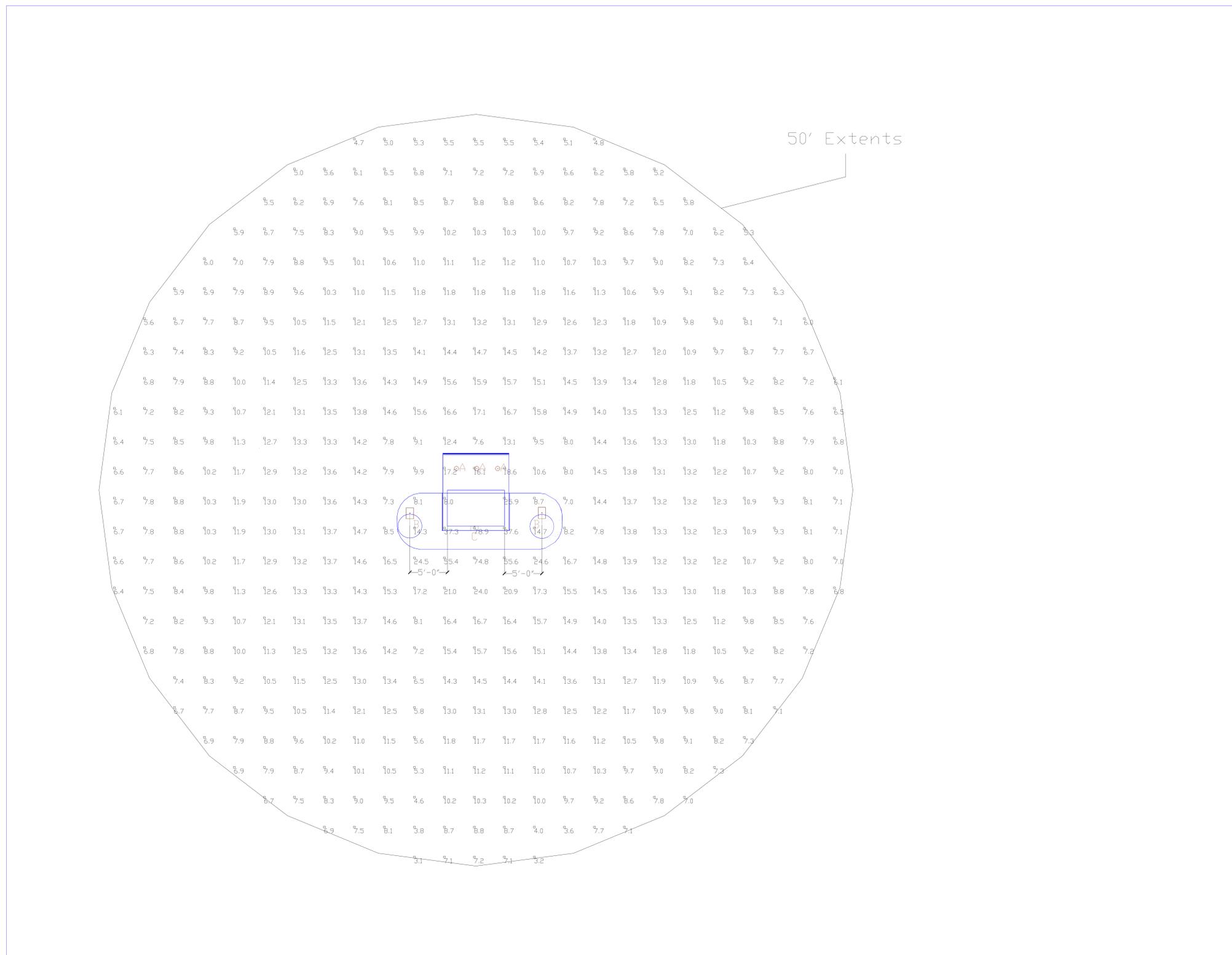
REAR ELEVATION

SCALE: 3/8" = 1'-0"

PREFERRED LOCATION OF
ELECTRICAL METER IF NEEDED

25'-0" TO TOP OF POLE (INCLUDING BASE)

MINIMUM 20'-0" BETWEEN LIGHT POLES



#	Date	Comments
A	06/28/07	RELEASED
B	05/05/07	REVISED
C	12/05/08	REVISED
D	01/13/09	REVISED

Drawn By:	Checked By:	Date:	Scale:
MHT	RB	06/28/2007	(SEE DRAWING)

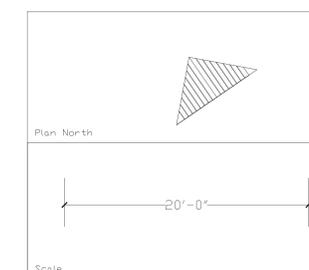
Bank of America
 ATM Universal w/U or DU Lighting

Symbol	Qty	Label	Description	Factory	No. Lamps	Lamp
	3	A	LDL 1132T	LDL	1	CFL 26
	2	B	GSL-XX-1000-MH-XX-AR-FG-XX-X	Cooper	1	MVR1000/U
	1	C	MPIP-T-150	Cooper	1	MVR150/U/MED

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	9.10	79.0	3.1	5.35	46.47

Notes:

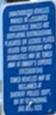
1. Downlights mounted on ATM as specified. 26w CFL quads.
2. Pole Fixture type B mounted at 25' Including Pole Base.
3. Fixtures on poles 1000w MH with a Flat Glass Lens.
4. Wall pack type C full cutoff 150w MH and mounted at 8' AFF.
5. All Fixtures are Full Cutoff and Dark Sky Friendly



24-hour ATM
Coming Soon

24-hour ATM
Coming
Soon

Multi-Check Deposit



Quesos y Cremas Mexicanas
DON FRANCISCO
800-425-0187

CL



24-hour ATM
Coming Soon

24-hour ATM
Coming
Soon

ATM

- Deposit cash or up to 10 checks at a time
- Get cash
- Set preferences
- And more





City of Taft Planning Commission Staff Report

Agenda Item: #5

DATE: February 18, 2015
TO: Chairman Orrin and Members of the Planning Commission
FROM: Mark Staples, Director
Planning and Community Development
SUBJECT: Conditional Use Permit 2014-15 – Verizon Wireless Communication Facility, 800 Main St

RECOMMENDATION: Adopt Resolution 2015-02 approving Conditional Use Permit 2014-15 to construct an 84-foot stealth monopine wireless telecommunications facility, for Verizon Wireless, within a 1,250 square foot lease area, on a 0.96 acre lot, within the Downtown Commercial (DC) Zone District located at 800 Main Street

LOCATION: 800 Main Street, Taft, CA 93268 (APN 032-040-28)

PROPERTY OWNER: Roger Miller
P.O. Box 1204
Taft, CA 93268

APPLICANT: Michelle Ellis
Complete Wireless Consulting
2009 “V” Street
Sacramento, CA 95818

PROJECT DATA:

- 1. General Plan:** Mixed Use
- 2. Zoning:** Downtown Commercial (DC)
- 3. Access/Circulation:** Main Street and 8th Street

PROJECT ANALYSIS:

The applicant, Complete Wireless Consulting (for Verizon Wireless), is proposing a 84-foot tall stealth monopine wireless telecommunication facility with a 1,250 square foot lease area, on a 0.96 acre lot within the Downtown Commercial (DC) Zone District located at 800 Main Street. The project site is currently a vacant lot surrounded by the Bureau of Land Management station to the north, a vacant industrial/commercial building to the east, vacant commercial land to the west and south, and the Best Western hotel under construction to the southeast.

The proposed wireless communications facility is designed as a stealth monopole disguised as a pine tree. The pole will be painted or clad with a faux bark treatment with faux pine branches applied to the monopole starting approximately 30-feet above grade. The faux branches at the top of the monopole will add another 6 to 8 feet, bringing the total potential height of the monopine to 92 feet. The facility will have a total of 9 antennas on three sectors. The project has been conditioned to have sufficient branches to thoroughly disguise the monopole and antennas. The facility will include a 1,250 square foot (25' x 50') lease area enclosed by a 6-foot tall concrete masonry block enclosure. The lease area will contain the monopine, an approximate 200 square foot pre-fabricated equipment enclosure, and a 6-foot by 13-foot concrete slab for a standby generator. A 6-foot wide access gate will be provided for maintenance technicians of the facility.

Site Location and Height Issues

The applicant submitted their project plans to the City on October 1, 2014. City staff responded with an incomplete letter to the applicant on October 17, 2014. The main issues with the initial design plans included

1) a poor faux derrick stealth design, 2) poor site location of the proposed lease area, and 3) the excessive height of the facility. The initial proposed stealth design looked more like a simple lattice tower and less like an operational derrick, of which staff directed the applicant to change to a faux pine tree. The proposed site location of the lease area is immediately adjacent to the east property line along 8th Street, which severely limits future site access and future commercial development. Prior approved telecommunication facilities have been limited to a maximum height of 65 feet and are able to meet their coverage needs.

The applicant revised only the stealth design to a faux pine tree. The applicant has stated that the lease area was not moved due to a pre-existing agreement with the property owner. Additionally, the applicant would not reduce the height of the facility as doing so would not meet their coverage objectives, per their RF Engineer. Attached are coverage map projections of the service expected with a 60-foot and 80-foot telecommunications facility. There is no significant coverage gap that warrants the additional 20-foot additional height compared to prior approved facilities. However, the Taft Zoning Ordinance does not have a specified height limit for wireless telecommunications facilities. Below is a table that details how the proposed project complies with the General Commercial (GC) Zone District.

General Commercial (GC) Zone Development Standard Compliance

Development Standard	Required	Provided
Minimum Site Area	6,500 s.f. (0.15 acres)	0.96 acres
Minimum Site Width	65 feet	134.26 feet
Minimum Site Depth	100 feet	312.74 feet
Minimum Setback:		
Front	0 feet	~38 feet
Side	0 feet	0 feet
Rear	0 feet	~47 feet
Maximum Building Height	45 feet	84 to 92 feet ¹
Maximum Floor Area Ratio	0.50 FAR (20,909 s.f./0.48 ac)	1,250 s.f. / 0.03 FAR

¹ Facilities that exceed the maximum height established by the underlying zone district are subject to Federal Aviation Administration (FAA) approval.

Staff Recommendation

City staff has provided the Planning Commission with an approval resolution based on the proposal presented by the applicant. As presented, the proposal does not violate specified development standards in the Taft Zoning Ordinance. However, staff is recommending that the Planning Commission direct the applicant to move the proposed lease area to the rear property line in order to provide more site design options for future commercial development on the property. Additionally, staff is recommending that the Planning Commission concur with staff regarding the excessive height of the proposed faux pine tree, and that the 60-foot height achieves equivalent coverage as the 80-foot height. The Planning Commission has the full discretion in reviewing and approving this Conditional Use Permit and can choose to approve the project as submitted by the applicant.

CEQA:

The project is exempt from the requirements of the California Environmental Quality Act (CEQA) as set forth in Section 15303 of the CEQA Guidelines (New Construction or Conversion of Small Structures).

ATTACHMENTS:

1. Resolution No. 2015-02
2. Vicinity Map
3. Site Plan, Floor Plan, Details
4. Photo Simulations of Stealth Facility
5. Verizon Comparison Coverage Maps
6. RF Engineer Statement
7. Pre-Existing Agreement w/Property Owner

RESOLUTION NO. 2015-02

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TAFT APPROVING CONDITIONAL USE PERMIT NO. 2014-15 TO CONSTRUCT AN 84-FOOT STEALTH MONOPINE WIRELESS TELECOMMUNICATIONS FACILITY, FOR VERIZON WIRELESS, WITHIN A 1,250 SQUARE FOOT LEASE AREA, ON A 0.96 ACRE LOT, WITHIN THE DOWNTOWN COMMERCIAL (DC) ZONE DISTRICT LOCATED AT 800 MAIN STREET

WHEREAS, the applicant, Complete Wireless Consulting, has proposed a Conditional Use Permit to construct an 84-foot stealth monopine wireless telecommunications facility, for Verizon Wireless, within a 1,250 square foot lease area, on a 0.96 acre lot, within the Downtown Commercial (DC) Zone District located at 800 Main Street in the City of Taft, County of Kern; and

WHEREAS, notice of a public hearing was published, posted, and mailed to surrounding property owners to consider the proposed project in accordance with City's Zoning Ordinance and applicable laws; and

WHEREAS, the Planning Commission studied and considered the written findings for approval of Conditional Use Permit No. 2014-15, City Staff's written and oral reports, and all public testimony before making a decision on this request, and

WHEREAS, the laws and regulations relating to the preparation and adoption of environmental documents, as set forth in the State Guidelines Implementing the California Environmental Quality Act have been adhered to; and

WHEREAS, the Planning Commission has fully considered this request and the potential environmental effects.

NOW, THEREFORE, THE PLANNING COMMISSION DOES HEREBY FIND, DETERMINE, RESOLVE, AND RECOMMEND AS FOLLOWS:

1. The proposed use is permitted within the Downtown Commercial (DC) zone district pursuant to the provisions of this section, complies with all applicable provisions of the Zoning Ordinance, is consistent with the goals, policies, and objectives of the General Plan, and is consistent with the applicable development policies and standards of the City; and
2. The proposed use would not impair the integrity and character of the Downtown Commercial (DC) zone district; and
3. The site is suitable for the type and intensity of the proposed use; and

4. There are adequate provisions for public utilities and services to ensure the public health and safety; and
5. The proposed use will not be detrimental to the public health, safety, or welfare, or materially injurious to the properties and improvements in the vicinity; and
6. The proposed amendment is exempt from the California Environmental Quality Act pursuant to Section 15303 of the CEQA Guidelines (New Construction or Conversion of Small Structures).

ATTACHMENTS:

Conditional Use Permit No. 2014-15, Conditions of Approval

PASSED AND ADOPTED on this 18th day of February, 2015.

ATTEST

Yvette Mayfield, City Clerk

Ron Orrin, Chairman

CERTIFICATION

I, Yvette Mayfield, hereby certify that the foregoing resolution was passed and adopted by the Planning Commission of the City of Taft at a regularly scheduled meeting held on the 18th day of February, 2015, by the following vote

AYES:

NOES:

ABSENT:

ABSTENTIONS:

Yvette Mayfield, City Clerk



CONDITIONS OF APPROVAL CONDITIONAL USE PERMIT NO. 2014-15
Location: 800 Main Street (APN 032-040-28)
Acceptance of Conditions

General Conditions

1. Approval of this project is conditioned upon the applicant defending, indemnifying and holding harmless the City, its agents, officers, consultants, and/or employees.
2. The safety and security of the site shall satisfy and be in compliance with all applicable Local, County, State, Special District, and Federal regulations, California Building Code, and California Occupational Safety and Health Association (CAL/OSHA).
3. This site is subject to all applicable City of Taft ordinances, regulations, standards and policies.
4. The applicant acknowledges that the City of Taft may incur engineering expenses by its City Engineer for Conditional Use Permit No. 2014-15 and agrees to reimburse the City within thirty (30) days of receiving an invoice from the City of Taft associated with these engineering expenses.

Building Department/ Public Works Department/ City Engineer

1. The applicant shall obtain necessary permits and/or approvals from all agencies (i.e. Building Permits) having jurisdiction over property being occupied and/or developed.
2. All improvements shall comply with American with Disabilities Act standards and regulations (ADA).
3. Contractors and subcontractors shall obtain a business license from the City prior to beginning any work.

Kern Fire Department

1. The applicant shall comply with all requirements of the Kern County Fire Department.
2. The applicant shall provide adequate emergency ingress/egress to the proposed building site, per Kern County Fire Department requirements.

Planning Department

1. The applicant shall develop the property, with a 84-foot tall monopine wireless communication facility with 9 panel antennas on three sectors, within a 1,250 square foot lease area enclosing the monopine and associated equipment, consistent with the approved plans on file with the Planning Department.
2. The 1,250 square foot lease area shall be enclosed with a maximum 6-foot high concrete masonry block wall painted an earth tone color. The 200 square foot pre-fabricated equipment enclosure shall be painted an earth tone color similar to the finish of the enclosure.
3. The monopine shall be painted or clad with a faux bark treatment and with faux pine branches applied to the monopole starting approximately 30-feet above grade. There shall be sufficient branches to thoroughly disguise the monopole and antennas.
4. The applicant shall provide one (1) parking space adjacent to the facility to accommodate a facility technician maintaining the monopine and lease area.

5. The applicant shall secure an access easement from the property owner for access to the lease area and parking space.
6. Prior to the issuance of building permits, the applicant shall secure a Federal Aviation Administration (FAA) "No Hazard" letter for the proposed 84-foot height of the monopine.
7. The applicant shall maintain the area within and outside of the lease area in safe, clean, and orderly manner free and clear of trash and debris at all times.
8. A revision or modification to this approved Conditional Use Permit may be requested by the applicant. The applicant shall submit a Revised Conditional Use Permit application to the Planning Director, with applicable submittal fees, indicating the reasons for the change and supporting information. The revision or modification shall be subject to review and approval by the Planning Commission.

COMMISSION FINDINGS:

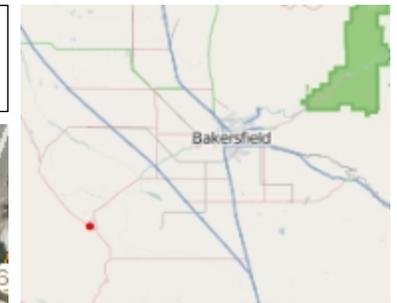
1. The Planning Commission finds that Conditional Use Permit No. 2014-15 as conditioned is consistent with the General Plan and the Zoning Ordinance.
2. The Planning Commission has reviewed and considered the environmental determination for this project and finds that the project is exempt from the requirements of CEQA in accordance with Section 15303 (New Construction or Conversion of Small Structures).

Applicant Signature	Print Name	Date
---------------------	------------	------

Property Owner Signature	Print Name	Date
--------------------------	------------	------

Taft Planning Department Signature	Print Name	Date
------------------------------------	------------	------

Conditional Use Permit 2014-15 - Verizon Wireless 84-foot Cell Tower



Legend

- Roads**
-  Freeway
 -  Highway
 -  Major
 -  Minor
 -  Local
 -  Ramp
 -  Unpaved
- Other Features**
-  Parcels
 -  Lakes & Ponds
 -  Water Course
 -  Canals
 -  County Parks
 -  Bakersfield Parks
 -  Golf Courses

1:2,160



0.1 0 0.03 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for general reference only. The County of Kern assumes no liability for damages, incurred by the user of this information, which occur directly or indirectly as a result of errors, omissions or discrepancies in the information.

Notes

Add notes here

Z D DRAWING SIGN - OFF

DATE: _____ TIME: _____ % CWC-PLEASE RETURN BY: _____

COMPLETE Wireless Consulting, Inc. SIGNATURE _____ DATE _____

SITE ACQUISITION: _____

PLANNING: _____

CONSTRUCTION: _____

MANAGEMENT: _____

verizon WIRELESS SIGNATURE _____ DATE _____

CONSTRUCTION: _____

REAL ESTATE: _____

RF ENGINEER: _____

EQUIPMENT ENGINEER: _____

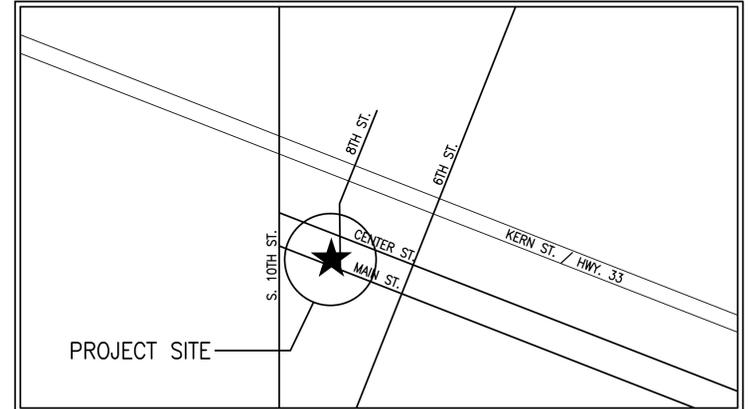
MW ENG./TRANSPORT: _____

OTHER (IF APPLICABLE) SIGNATURE _____ DATE _____



2785 Mitchell Drive, Walnut Creek, CA 94598

DT TAFT
 800 MAIN STREET
 TAFT, CA 93268
 APN: 032-040-28-00-7
 LOCATION #: 249137



TAFT, CA LOCATION PLAN 

DIRECTIONS

FROM VERIZON OFFICE @ 2785 MITCHELL DRIVE, WALNUT CREEK, CA 94598:

1. HEAD NORTHEAST ON MITCHELL DR TOWARD OAK GROVE RD.
2. TURN RIGHT ONTO OAK GROVE RD.
3. TAKE THE 2ND RIGHT ONTO YGNACIO VALLEY RD.
4. CONTINUE ONTO HILLSIDE AVE.
5. TURN LEFT ONTO THE INTERSTATE 680 S RAMP TO SAN JOSE.
6. MERGE ONTO I-680 S.
7. TAKE THE EXIT ONTO I-580 E TOWARD STOCKTON.
8. MERGE ONTO I-5 S.
9. TAKE THE EXIT TOWARD BUTTONWILLOW/MCKITTRICK.
10. MERGE ONTO BUTTONWILLOW DR.
11. TURN LEFT ONTO CA-58 E.
12. TURN RIGHT ONTO MIRASOL AVE.
13. TURN RIGHT ONTO BRITE RD.
14. CONTINUE ONTO BUTTONWILLOW DR.
15. CONTINUE ONTO ELK HILLS RD.
16. TURN RIGHT ONTO CA-119 W.
17. TAKE THE 1ST RIGHT ONTO MIDWAY RD.
18. TURN LEFT ONTO N LINCOLN ST.
19. CONTINUE ONTO N 10TH ST.
20. TURN LEFT ONTO MAIN ST.
21. DESTINATION WILL BE ON THE LEFT.

INDEX OF DRAWINGS

1.	T1.1	TITLE SHEET, LOCATION PLAN, PROJECT DATA
2.	LS1	CIVIL SURVEY SHEET
3.	A1.1	OVERALL SITE PLAN
4.	A2.1	ENLARGED EQUIPMENT LAYOUT PLAN
5.	A2.2	ANTENNA LAYOUT PLAN
6.	A3.1	PROJECT ELEVATIONS

PROJECT DIRECTORY

APPLICANT:
 VERIZON WIRELESS
 2785 MITCHELL DRIVE
 WALNUT CREEK, CA 94598

PROPERTY OWNER:
 MAIN STREET STORAGE OF TAFT LLC
 PO BOX 1204
 TAFT, CA 93268-1204

ARCHITECT:
 MANUEL S. TSHILAS
 MST ARCHITECTS, INC.
 1520 RIVER PARK DRIVE
 SACRAMENTO, CA 95815
 916-567-9630
 manuel@mstarchitects.com

CONSTRUCTION MANAGER:
 SERJIO CABRERA
 COMPLETE WIRELESS CONSULTING, INC.
 2009 V STREET
 SACRAMENTO, CA 95818
 916-217-9219
 scabrera@completewireless.net

PROJECT SUMMARY

ASSESSOR'S PARCEL NUMBER: 032-040-28-00-7

JURISDICTION: CITY OF TAFT

OCCUPANCY: S-2 (UNMANNED TELECOMMUNICATIONS FACILITY) U (TOWER)

TYPE OF CONSTRUCTION: V-B

ZONING: DC (DOWNTOWN COMMERCIAL)

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

1. 2013 CALIFORNIA ADMINISTRATIVE CODE (CAC) (INCL. TITLE 24 & 25)
2. 2013 CALIFORNIA BUILDING CODE (CBC)
3. 2013 CALIFORNIA ELECTRICAL CODE (CEC)
4. 2013 CALIFORNIA MECHANICAL CODE (CMC)
5. 2013 CALIFORNIA PLUMBING CODE (CPC)
6. 2013 CALIFORNIA ENERGY CODE (CENC)
7. 2013 CALIFORNIA FIRE CODE (CFC)
8. 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen CODE)
9. 2013 CALIFORNIA REFERENCE STANDARDS CODE
10. LOCAL COUNTY OR CITY ORDINANCES
11. PRE-FABRICATED EQUIPMENT SHELTER IS STATE OF CALIFORNIA INSPECTED AND APPROVED, NOT FOR LOCAL INSPECTION.

ACCESSIBILITY REQUIREMENTS: THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY NOT REQUIRED IN ACCORDANCE WITH THE 2013 CBC 11B-203.5, AND 11B-202.4 EXCEPTION 7.

PROJECT DESCRIPTION

PROPOSED VERIZON WIRELESS UNMANNED TELECOMMUNICATIONS FACILITY INCLUDING:

- A 25'-0"x50'-0" LEASE AREA.
- A 25'-0"x50'-0"x6'-0" TALL CMU SCREEN WALL @ LEASE AREA PERIMETER.
- A PRE-FABRICATED EQUIPMENT SHELTER.
- UNDERGROUND POWER & TELCO UTILITIES BROUGHT TO FACILITY.
- A STANDBY DIESEL GENERATOR.
- A COAXIAL CABLE ICE BRIDGE.
- (9) ANTENNAS W/ASSOCIATED TOWER MOUNTED EQUIPMENT MOUNTED ON A PROPOSED MONOPINE.

PROJECT MILESTONES

07/31/2014	90% ZONING DOCUMENTS
08/19/2014	100% ZONING DOCUMENTS
01/27/2015	100% ZONING DOCUMENTS REVISION 1
xx/xx/xxxx	90% CONSTRUCTION DOCUMENTS
xx/xx/xxxx	100% CONSTRUCTION DOCUMENTS

COMPLETE Wireless Consulting, Inc.

MST ARCHITECTS
 1520 RIVER PARK DRIVE, SACRAMENTO, CA 95815
 916-567-9630
 www.MSTArchitects.com

DT TAFT
 800 MAIN STREET
 TAFT, CA 93268

verizon WIRELESS

SHEET TITLE: TITLE SHEET, LOCATION PLAN, PROJECT DATA

Not valid unless signed in ink by licensee.

Revisions:

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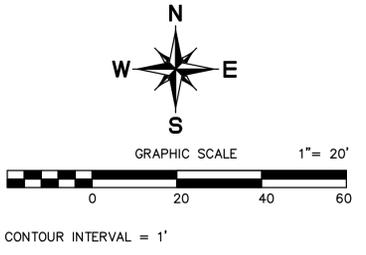
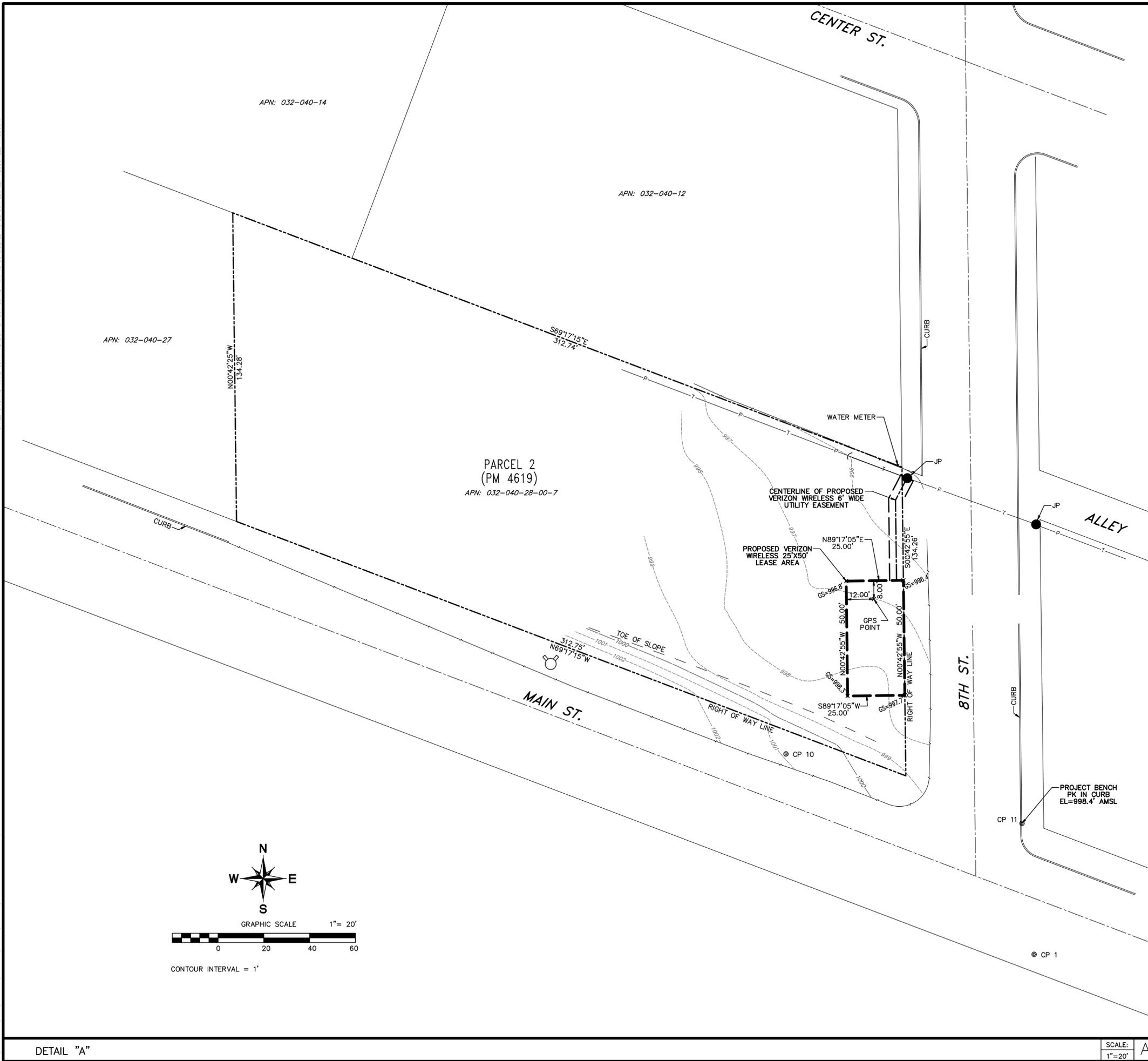
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 Date: 07/31/14

Job No. 162.1218

T1.1

ANY ELECTRONIC DIGITAL MEDIA PROVIDED BY PAS TO OUR CLIENT IS A COURTESY AND IS NOT TO BE REPRODUCED, DISTRIBUTED, SOLD, ALTERED, REVISED, EDITED OR AMENDED WITHOUT EXPRESS WRITTEN CONSENT OF AN OFFICER OF PAS. FURTHER, ONLY THE FINAL STAMPED, SIGNED AND DATED ORIGINAL HARD COPY VERSION OF OUR SURVEY MAP IS CONSIDERED TO BE OUR LEGALLY RECORDED PRODUCT.

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LEGEND	
	MANHOLE
	LIGHT POLE
	TREE
	JP JOINT POLE
	PP POWER POLE
	FIRE HYDRANT
	MONUMENT
	HANDICAPPED PARKING
	TP TELEPHONE POLE
	SPOT ELEVATION EL=124.5'
	EDGE OF PAVEMENT
	OVERHEAD POWER & TELEPHONE LINES
	FENCE LINE
	PROPERTY LINE
	AMSL.....ABOVE MEAN SEA LEVEL AGL.....ABOVE GROUND LEVEL
	CP #.....FIELD CONTROL POINT

DATE OF SURVEY: 07/19/14

SURVEYED BY/ OR UNDER THE DIRECTION OF: Oliver Philip Auer L.S. 5075

NOTES:

THIS IS NOT A BOUNDARY SURVEY. THIS IS A CELLULAR TELECOMMUNICATIONS TOPOGRAPHIC SURVEY MAP WITH EXISTING PARENT PARCEL LINES AND EASEMENTS BEING A GRAPHIC DEPICTION OF VARIOUS INFORMATION GATHERED FROM PRELIMINARY REPORTS, RECORD INFORMATION AND AVAILABLE MONUMENTS FOUND DURING THE FIELD SURVEY. UNLESS OTHERWISE NOTED, NO UNDERGROUND UTILITY LOCATING SERVICE COMPANY WAS CONTACTED PRIOR TO THIS MAP BEING PREPARED; THEREFORE, THERE MAY BE NON-VISIBLE OR OBSCURE UTILITIES EXISTING ON THE PROPERTY NOT SHOWN ON THIS MAP.

PARENT PARCEL DESCRIPTION:

REAL PROPERTY IN THE CITY OF TAFT, COUNTY OF KERN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 2 AS SHOWN ON PARCEL MAP NO. 4619 AS PER MAP RECORDED MARCH 20, 1978 IN BOOK 20 OF PARCEL MAPS AT PAGE 124, RECORDS OF KERN COUNTY, STATE OF CALIFORNIA.

LEASE AREA DESCRIPTION:
(TO BE PREPARED AT TIME OF FINAL SURVEY.)

UTILITY EASEMENT DESCRIPTION:
(TO BE PREPARED AT TIME OF FINAL SURVEY.)

BASIS OF ELEVATIONS: NAVD 88.

BASIS OF BEARINGS: CALIFORNIA STATE PLANE COORDINATE SYSTEM, ZONE 5, NAD 83.

PROJECT BENCH: AS INDICATED HEREON.

LANDLORD INFORMATION: MAIN STREET STORAGE OF TAFT LLC
PO BOX 1204
TAFT, CA 93268-1204

NET AREA OF UNDERLYING PARCEL(S): 0.897± AC.

SITE LOCATED IN FLOOD ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FIRM COMMUNITY PANEL NUMBER 06029-C2639E, EFFECTIVE DATE SEPTEMBER 26, 2008.

FAA 1A CERTIFICATION:

LATITUDE AND LONGITUDE WAS OBTAINED FROM INFORMATION PROVIDED BY A GPS SURVEY. THE GEODETIC POSITION SHOWN WAS DETERMINED UTILIZING FAST-STATIC GPS OBSERVATIONS FROM NGS CORS STATION(S) USING TRIMBLE 4600LS RECEIVERS. THE DATA WAS DIFFERENTIALLY CORRECTED WITH TRIMBLE GPS SURVEY SOFTWARE.

LATITUDE, LONGITUDE AND ELEVATIONS DENOTED ON THIS SURVEY MEET OR EXCEED THE FEDERAL AVIATION ADMINISTRATION 1-A STANDARD.

ELEVATION OF GROUND AT GPS POINT: 997.0' AMSL

STRUCTURE HEIGHT: N/A

LATITUDE: N35°08'29.83"
LONGITUDE: W119°27'47.55" (NAD 83)

VICINITY MAP NOT TO SCALE



Phil Auer Surveying
14407 Corte Lejos
Bakersfield, CA 93314
Phone: (805) 714-7224
Mobile: (510) 714-7224
E-mail: ls5075@earthlink.net

DT TAFT
800 MAIN STREET
TAFT, CA 93268

verizon WIRELESS

SHEET TITLE: SURVEY SHEET



Revisions:

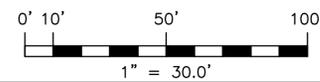
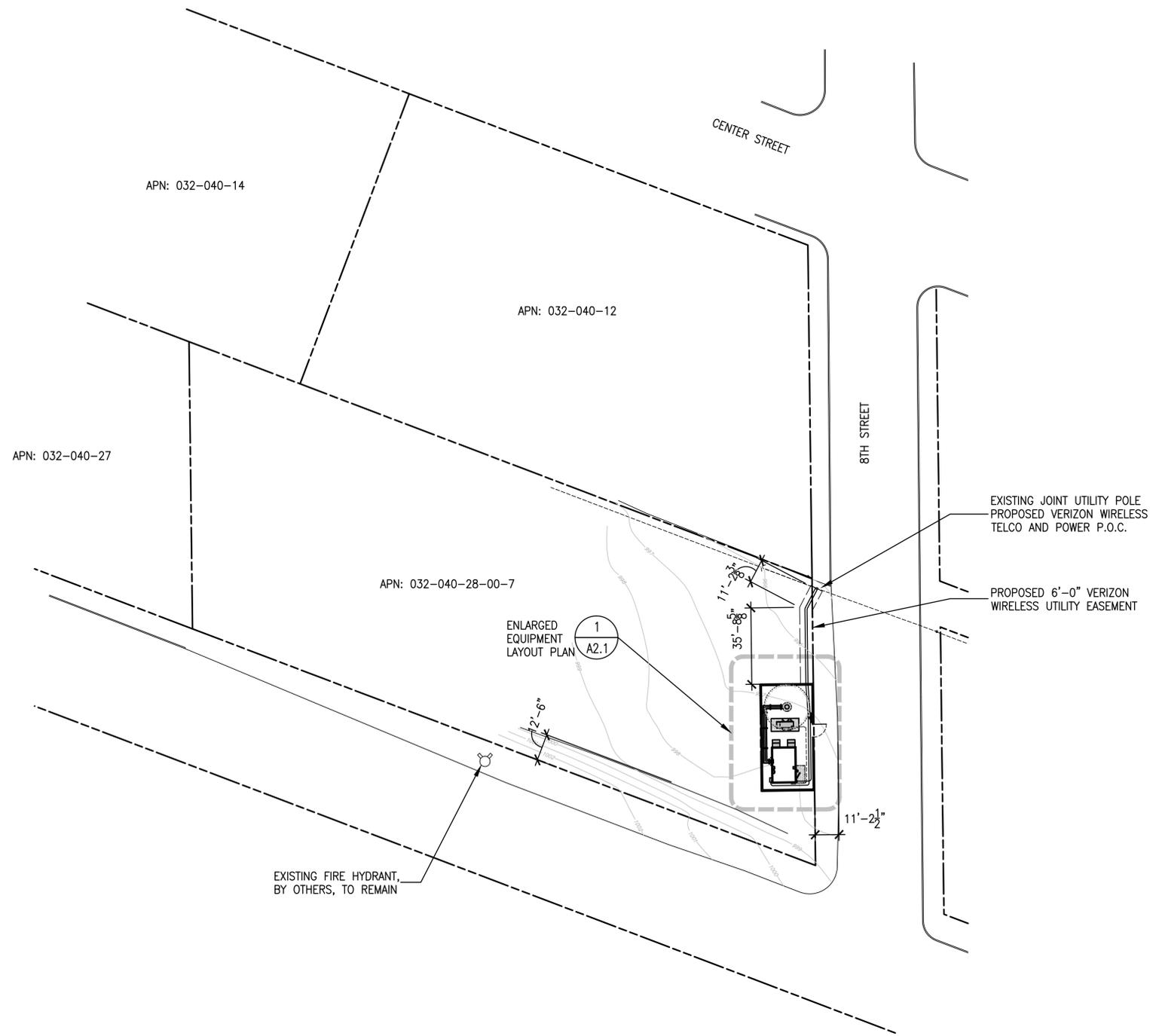
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Job No. N/A

LS1

DETAIL "A"

SCALE: 1"=20'



1
A1.1 OVERALL SITE PLAN
SCALE: 1" = 30.0'

MST ARCHITECTS
1700 Mark Drive, Sacramento, CA 95815
916-427-2639
www.MSTArchitects.com

COMPLETE
Wireless Consulting, Inc.

DT TAFT
800 MAIN STREET
TAFT, CA 93268

verizon WIRELESS

SHEET TITLE:
OVERALL SITE PLAN

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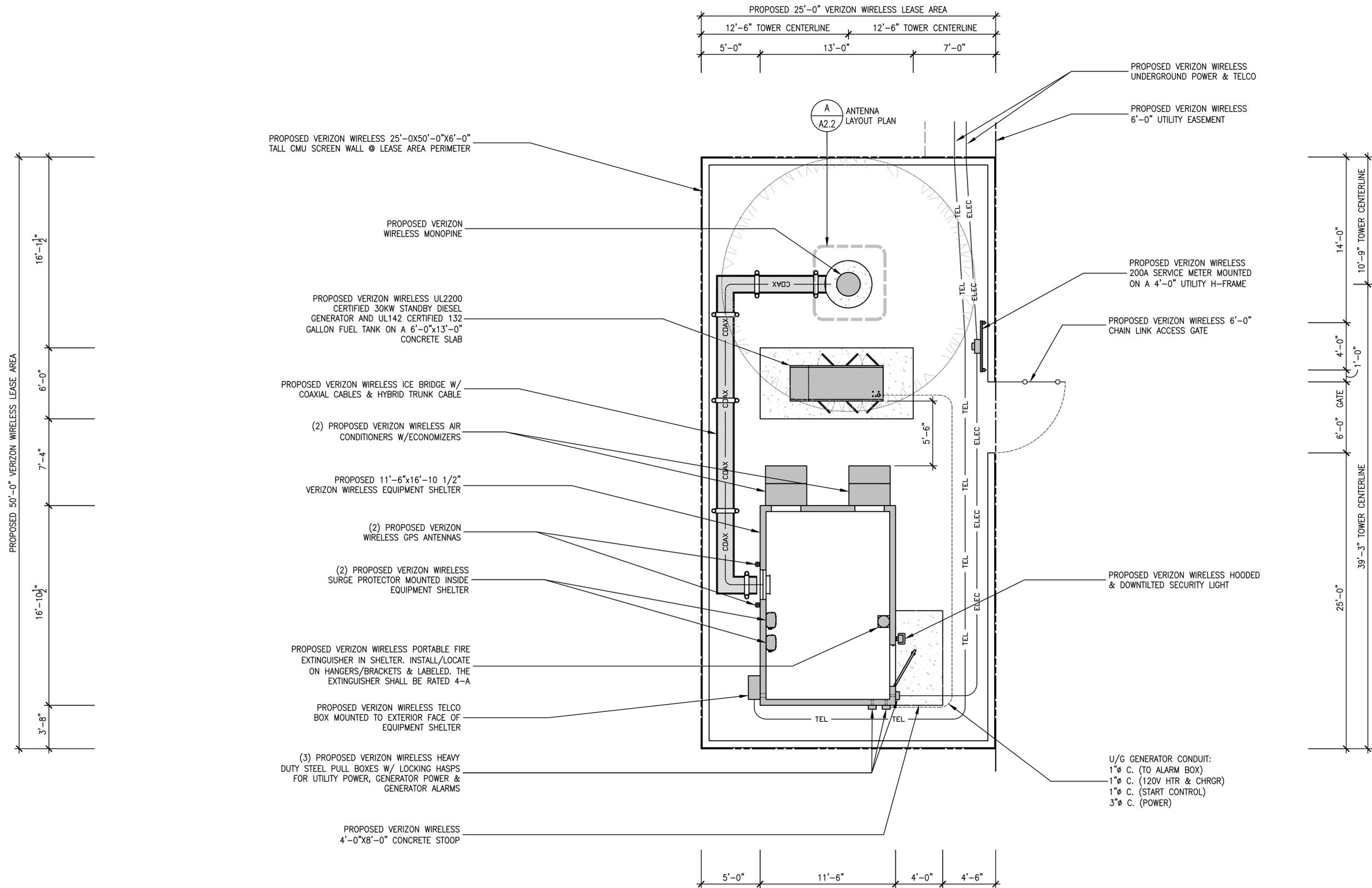
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Date: 07/31/14

Job No. 162.1218

A1.1



0' 1" 5' 10'

1/4" = 1'-0"

ENLARGED EQUIPMENT LAYOUT PLAN

SCALE: 1/4" = 1'-0"

Not valid unless signed in ink by licensee.

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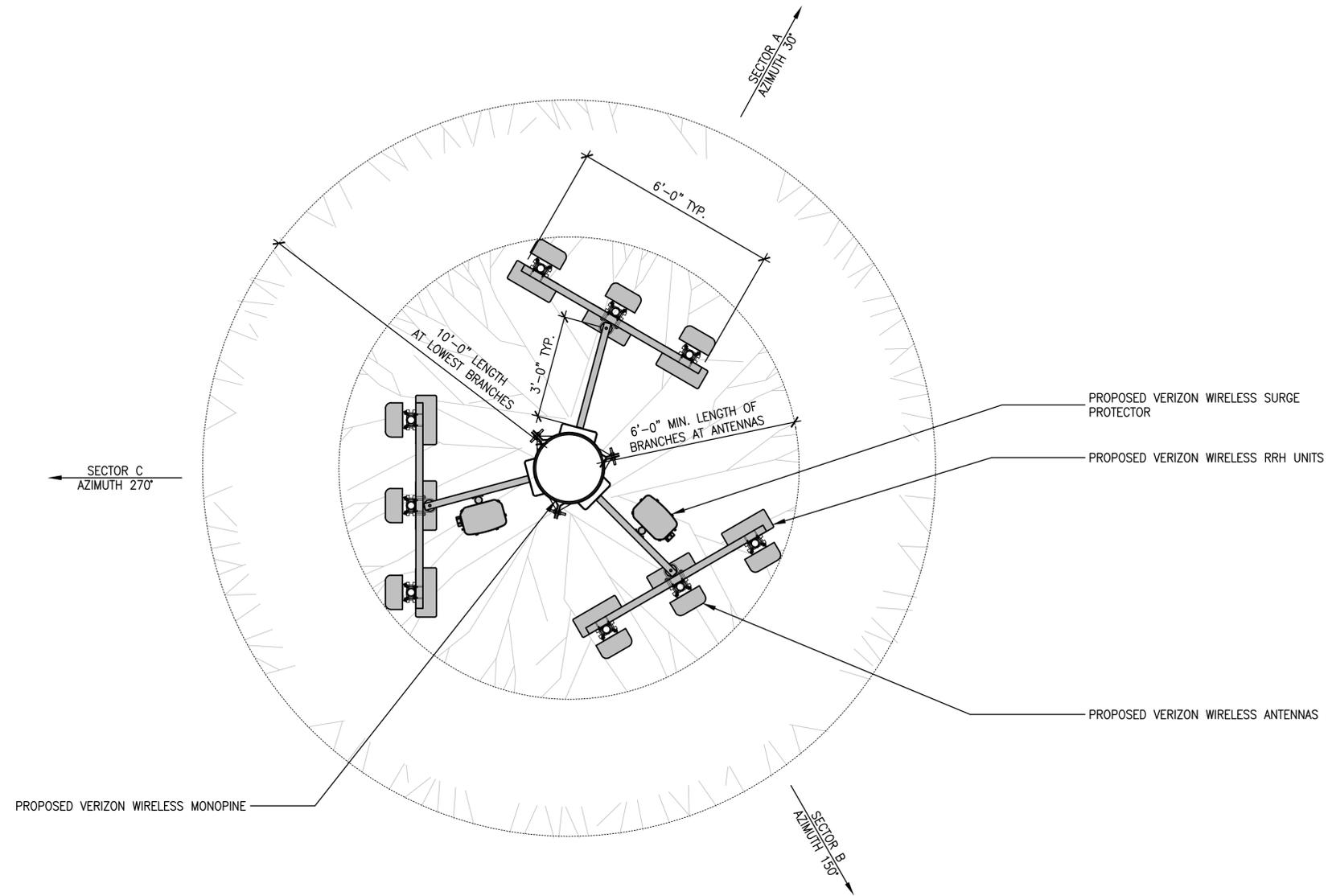
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 Date: 07/31/14

Job No. 162.1218

A2.1

EQUIPMENT SCHEDULE					
EQUIPMENT	DESCRIPTION	QUANTITY			TOTAL
		SECTOR A	SECTOR B	SECTOR C	
ANTENNA	TO BE DETERMINED	3	3	3	9
RRH	RRUS12	3	3	3	9
TMA OR DIPLEXER	N/A	0	0	0	0
SURGE PROTECTOR/HYBRID	RAYCAP DC3315 / HYBRID TRUNK CABLES	2/2			2/2
COAXIAL CABLE	1 5/8" DIAMETER COAX	2	2	2	6
RET CABLE	N/A	0			0



NOTE: VERIZON WIRELESS TO INSTALL "NEEDLE SOCKS" ON ALL PROPOSED PANEL ANTENNAS & RRH UNITS. ALL ANTENNAS & EQUIPMENT TO BE PAINTED FLAT GREEN

0' 1' 5' 10' 1/2" = 1'-0" ENLARGED ANTENNA LAYOUT PLAN SCALE: 1/2" = 1'-0"

Not valid unless signed in ink by licensee.

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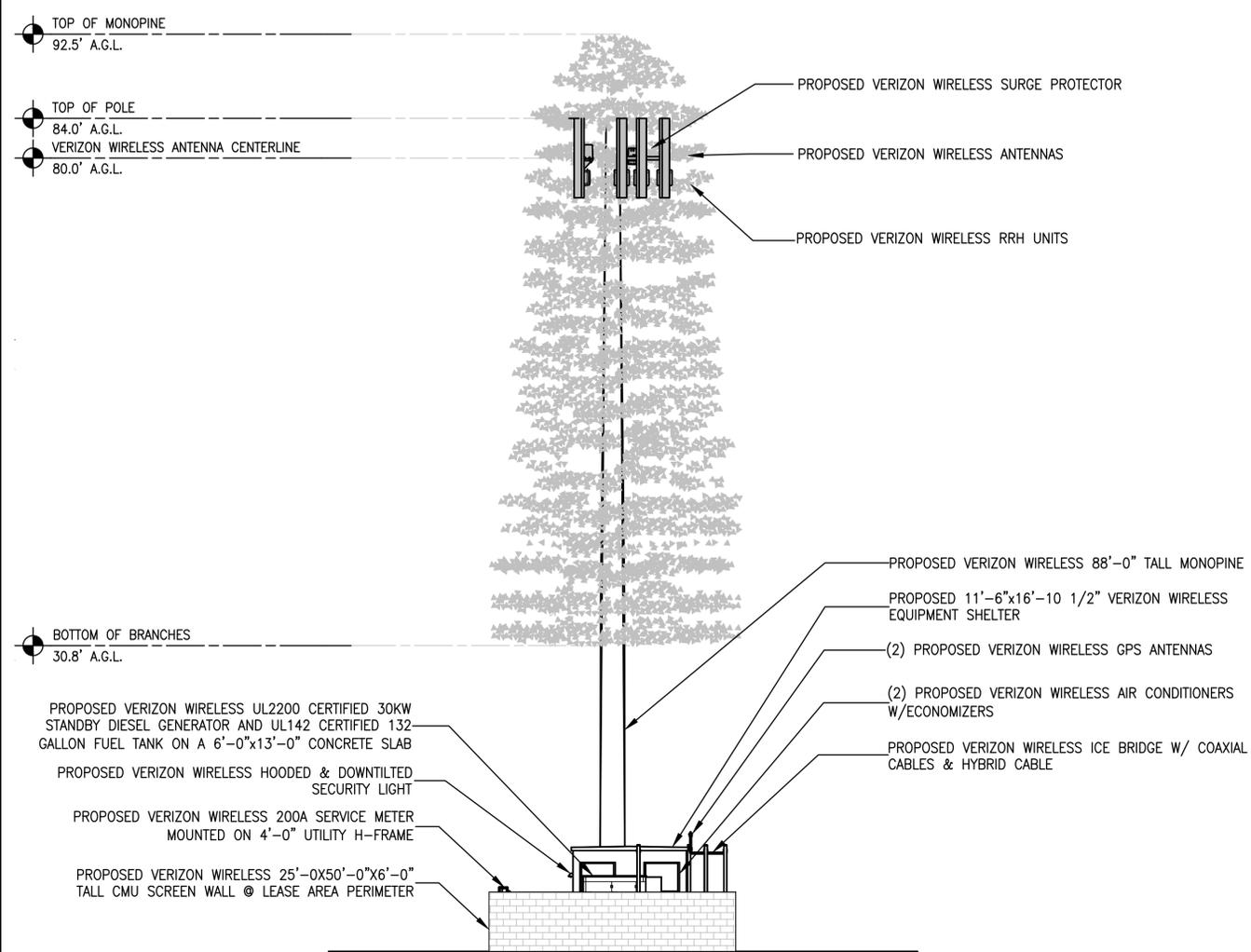
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 Date: 07/31/14

Job No. 162.1218

A2.2

NOTE: VERIZON WIRELESS TO INSTALL "NEEDLE SOCKS" ON ALL PROPOSED PANEL ANTENNAS & RRH UNITS. ALL ANTENNAS & EQUIPMENT TO BE PAINTED FLAT GREEN

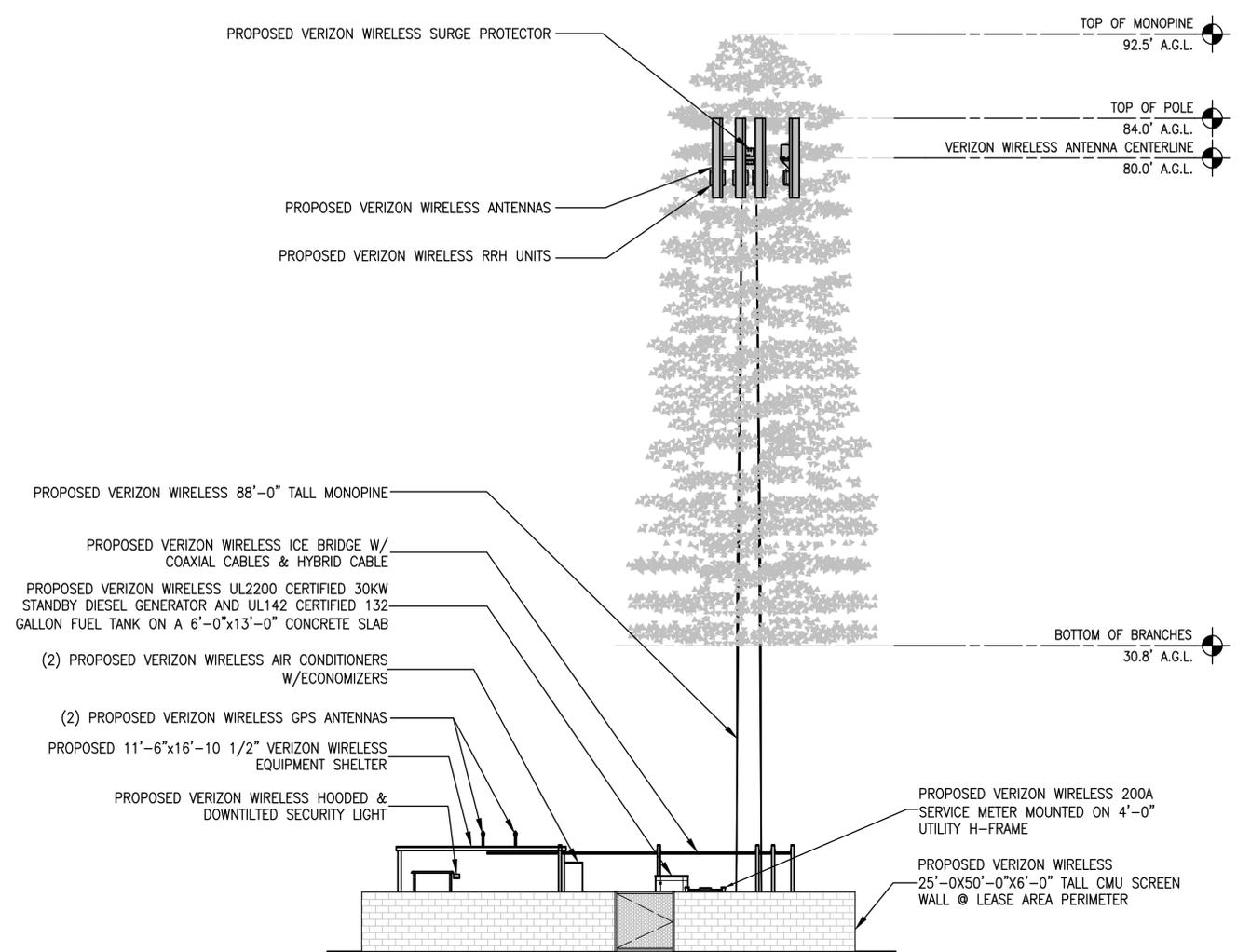
NOTE: BRANCHES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE



2 NORTH ELEVATION
A3.1 SCALE: 1/8" = 1'-0"

NOTE: VERIZON WIRELESS TO INSTALL "NEEDLE SOCKS" ON ALL PROPOSED PANEL ANTENNAS & RRH UNITS. ALL ANTENNAS & EQUIPMENT TO BE PAINTED FLAT GREEN

NOTE: BRANCHES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE



1 EAST ELEVATION
A3.1 SCALE: 1/8" = 1'-0"

Not valid unless signed in ink by licensee.

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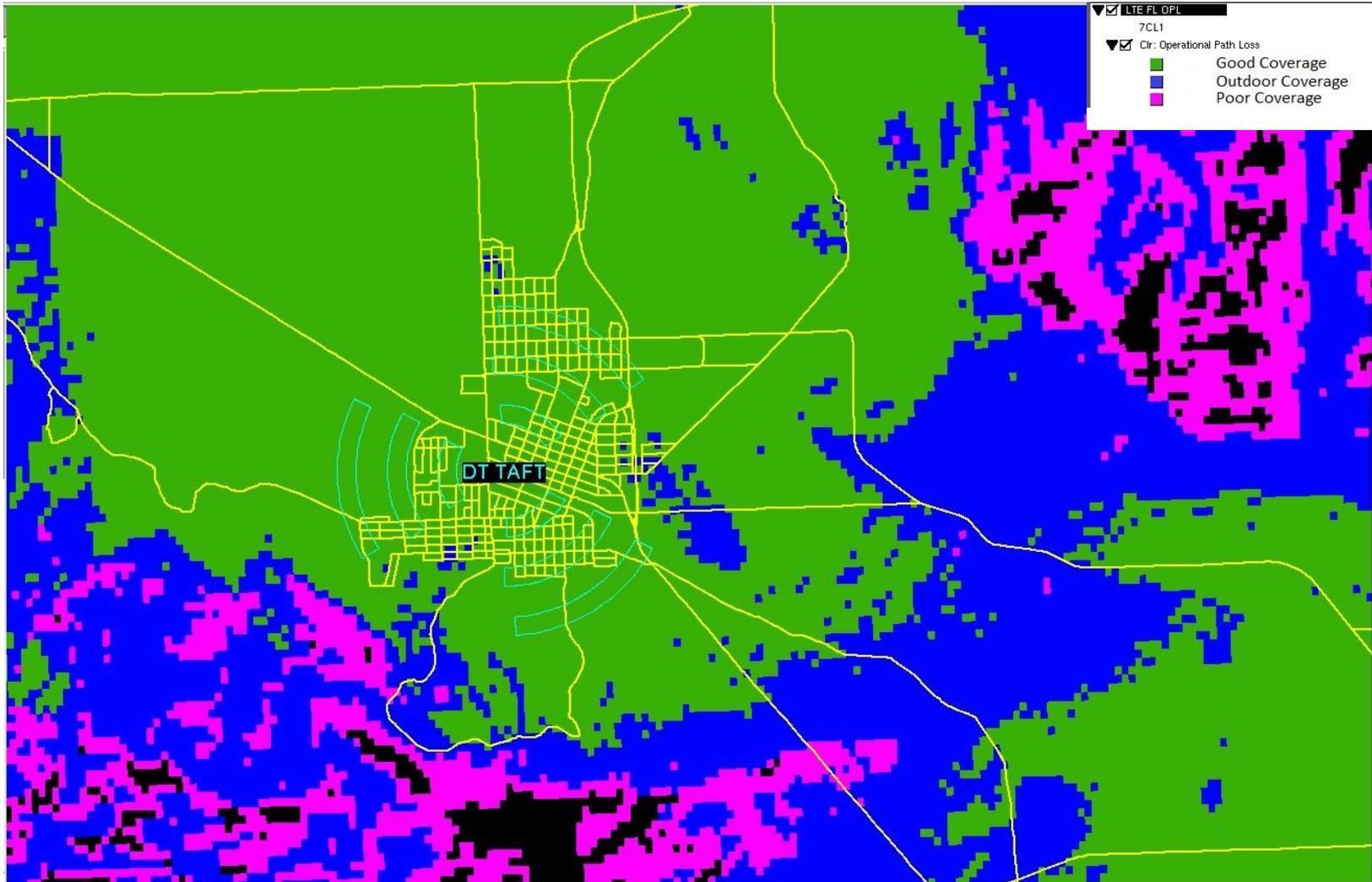
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Job No. 162.1218

A3.1

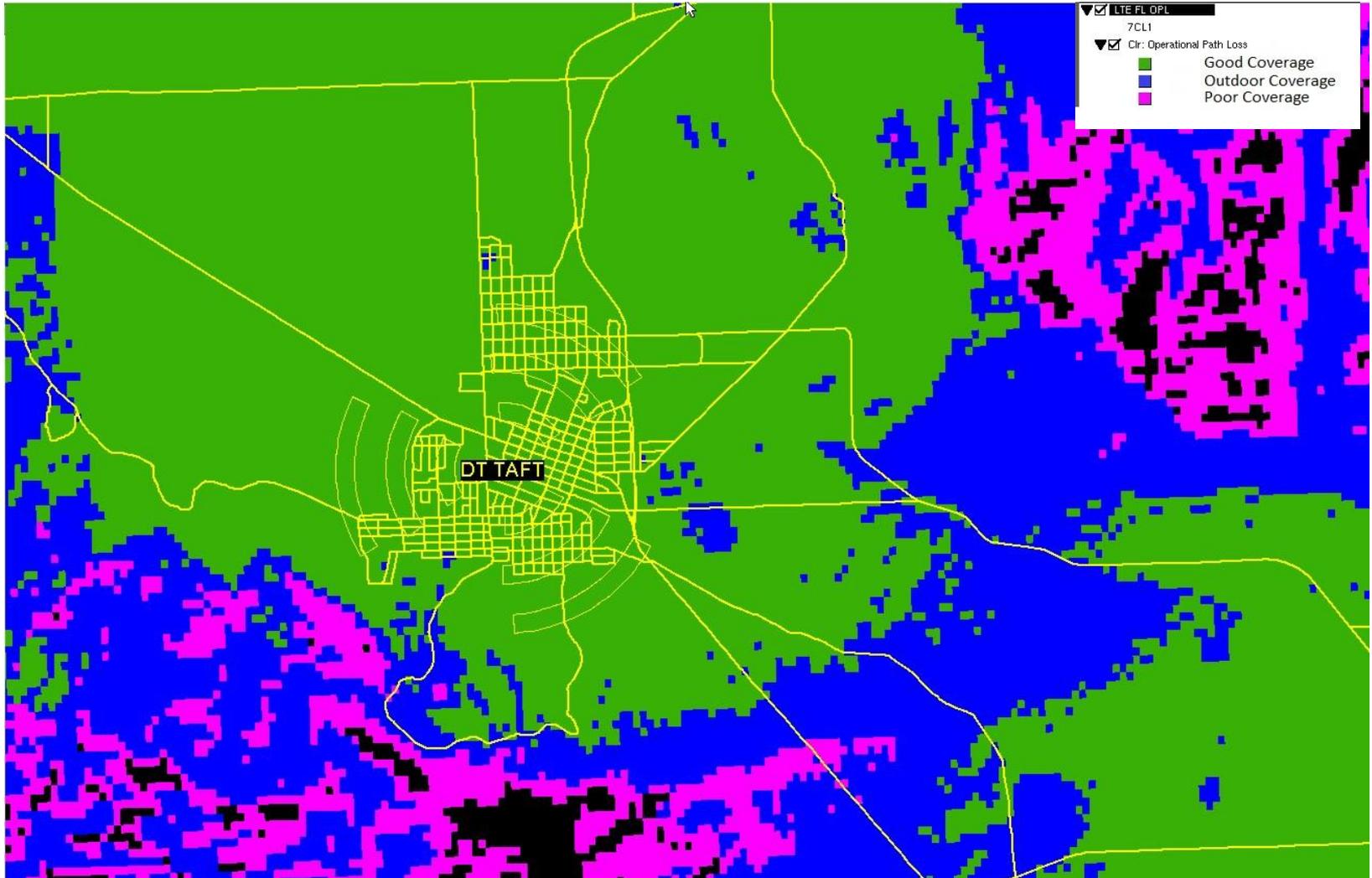


DT Taft 60' Tower





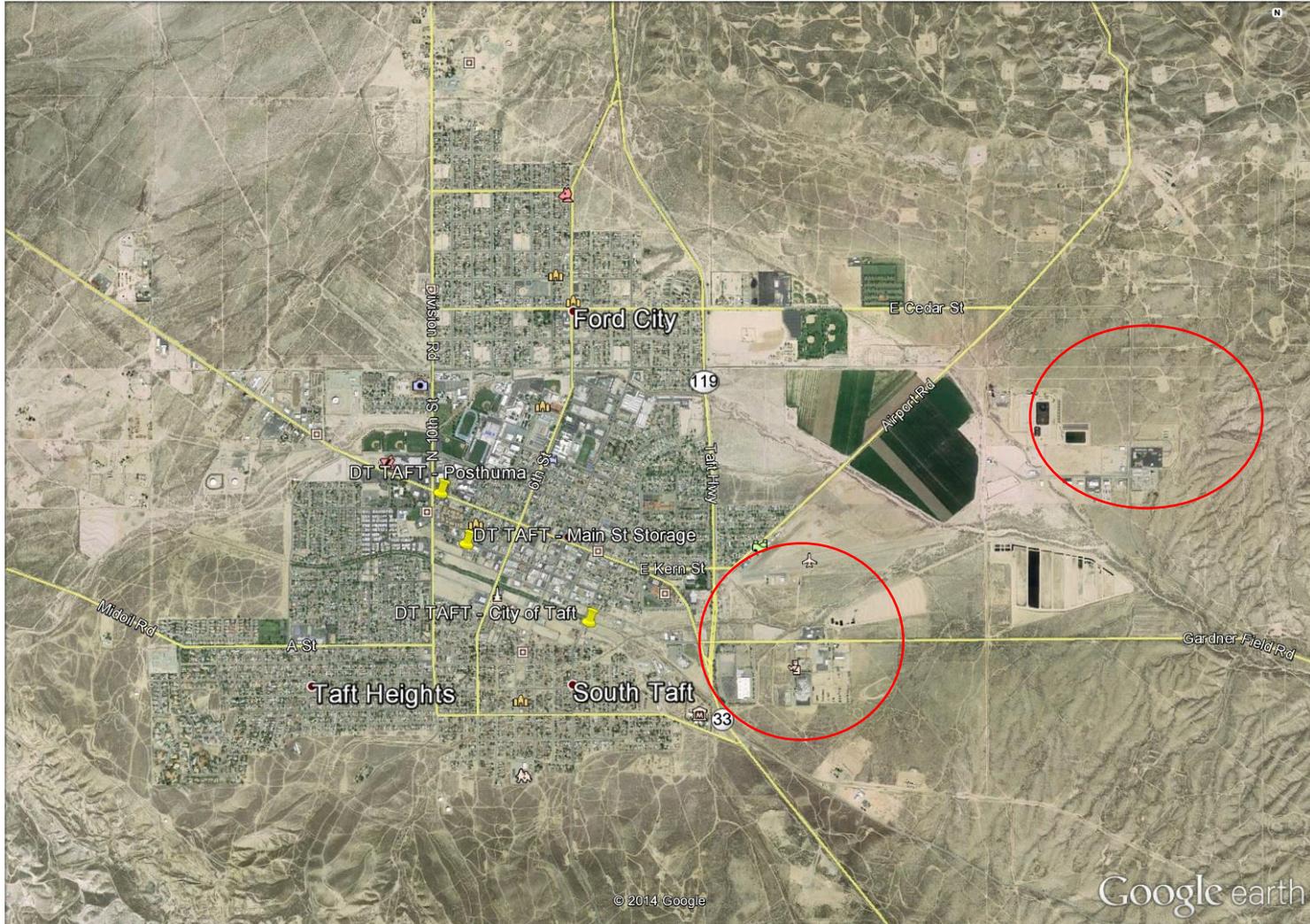
DT Taft 80' Tower





DT Taft – Google Earth

*potential areas where coverage will suffer: commercial area in SE Taft (including Taft City police dept & Taft Kern Airport); commercial area in E Taft



Mark Staples

From: Michelle Ellis <MEllis@completewireless.net>
Sent: Friday, December 19, 2014 2:51 PM
To: Mark Staples
Subject: RE: Additional RF documentation - Verizon Wireless DT Taft

Hi Mark,

We cannot move the lease area closer to the northern property line due to a pre-existing agreement with the landlord. If you would like a different fence material, please add that as a condition of approval to the project.

I will bring photosims of an 88+' tree in place of the oil derrick to any future hearing for planning commission review, but we would like to keep the oil derrick as-is for the time being.

If you need any other materials to complete the application, please let me know.

Thanks,
Michelle

Michelle Ellis, Project Manager
Complete Wireless Consulting

(916) 764-2454
(916) 313-3730 fax
MEllis@completewireless.net
2009 V Street
Sacramento, CA 95818

From: Mark Staples [mailto:mstaples@cityoftaft.org]
Sent: Thursday, December 18, 2014 4:50 PM
To: Michelle Ellis
Subject: RE: Additional RF documentation - Verizon Wireless DT Taft

You're not going to make the other revisions asked for in the incomplete letter? Moving the lease area to along the rear property line? Changing the stealth design to a monopine?

We've been caught up in the height issue and haven't really discussed the other items in the letter.

MARK STAPLES

Director
CITY OF TAFT | PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT
209 E. Kern Street
Taft, CA 93268
(661) 763-1222 x24 direct
(661) 765-2480 fax
mstaples@cityoftaft.org

From: Michelle Ellis [mailto:MEllis@completewireless.net]
Sent: Tuesday, December 16, 2014 5:23 PM

Michelle Ellis

From: Santa Maria, Benjamin <Benjamin.SantaMaria@VerizonWireless.com>
Sent: Tuesday, November 25, 2014 1:52 PM
To: Michelle Ellis
Subject: RE: Conditional Use Permit 2014-15 - Verizon Wireless "DT Taft"

Hi Michelle,

Sure thing – here's my statement:

Lowering the tower height of DT Taft proposed site from 80' to 60' will reduce its coverage area and will have a negative impact on the site's coverage objectives.

On a side note, I can provide updated coverage maps for this if need be. Let me know and I'll rerun my propagation tool for it.

Thanks!

Benjamin Santa Maria
Associate System Performance Engineer
Verizon Wireless
Mobile: 925.239.9186



City of Taft Planning Commission Staff Report

Agenda Item: #6

DATE: February 18, 2015
TO: Chairman Orrin and Members of the Planning Commission
FROM: Mark Staples, Director
Planning and Community Development
SUBJECT: Conditional Use Permit 2015-02 – Taft Wastewater Treatment Plant Maintenance

RECOMMENDATION: Adopt Resolution 2015-03 approving Conditional Use Permit 2015-02 to upgrade the Taft Wastewater Treatment Plant (WWTP) through maintenance-related measures to improve serviceability, reliability, and equipment performance, with no proposed changes in WWTP process or capacity, located on two properties totaling 42.46 acres approximately 800 feet southwest of the intersection of Airport Road and Ash Street

LOCATION: Approximately 800' southwest of Airport Road and Ash Street (APN 220-240-08, -10)

<u>PROPERTY OWNER:</u>	City of Taft 209 E. Kern Street Taft, CA 93268	<u>APPLICANT:</u>	City of Taft 209 E. Kern Street Taft, CA 93268
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PROJECT DATA:

- | | |
|-------------------------------|-----------------------------|
| 1. General Plan: | Public Facility |
| 2. Zoning: | Natural Resource (NR) |
| 3. Access/Circulation: | Airport Road and Ash Street |

PROJECT ANALYSIS:

The Taft Wastewater Treatment Plant (WWTP) was constructed in 1974. The City is a member of a joint powers agreement with the Taft Heights/Ford City Sanitation Districts in the ownership and operation the WWTP. The City of Taft owns 52 percent and Ford City-Taft Heights Sanitation District owns 48 percent of the plant. The City of Taft operates and maintains the wastewater treatment facilities via a contractor, Severn Trent. In 2002 the City upgraded and expanded the WWTP in order to meet new waste discharge requirements set by the Central Valley Regional Water Quality Control Board and to meet wastewater treatment demands through the year 2012. This upgrade/expansion has increased the plant's capacity to an average daily flow of 1.5 million gallons per day (MGD), and corrected all known deficiencies.

The City of Taft has been awarded funding for further WWTP improvements through a USDA loan. The planned improvements do not represent a change in the facility's process or capacity, but are intended as maintenance related measures to improve serviceability, reliability, and equipment performance. The planned improvements include:

- Plant Rated Capacity – 1.5 million gallons per day (mgd)(no change from existing)
- Plant treatment technology – aerated lagoon (no change from existing)

- Upgraded septage dump station
- Replaced headworks, including automated screenings removal, Parshall Flume (inflow flow metering with ultrasonic level device), bypass channel with manual bar screen
- Refurbished aeration system from floating biomixer to submerged aeration in Lagoon 1, which has a volume of approximately 7.3 million gallons (MG)
- Reinstatement of Lagoon 2 with submerged aeration, also 7.3 MG volume
- Existing Ponds 3 and 4, 1.3 MG volume each, will be used for final polishing, similar to the existing system, and will also be equipped with new SolarBee recirculation units.
- Existing Effluent Holding Pond, total volume 4.2 MG, to be maintained
- Effluent disposal/recycled water application area to be maintained, with an area of 135-acres, expandable to 160 acres.
- Electrical improvements, including stand by generator
- Controls improvements, including dissolved oxygen alarms

The City of Taft has been working on design and construction plans for the proposed improvements with the WWTP consultant, Wallace Group. Attached are the design plans for the WWTP maintenance work. Sheet G3.0 shows the main project elements including the new Septage Receiving Station, New Headworks Improvements, and New Blower Building.

The new Septage Receiving Station, see Sheet C1.0, is a facility for commercial pump trucks of septic tank and other sewage waste to dump their effluent. The station is located outside the fence line of the WWTP to allow commercial effluent dumping when the WWTP facility is open or closed. The station connects to an existing 24" gravity sewer line that is the main service line from the greater Taft area. The 24" line will process the effluent through new headworks, see Sheet C2.0, before dumping into Aeration Ponds 1 and 2.

A new 1,580 square foot building, see Wallace Group Sheet C4.0 and Artisan Eng Sheets 2.1 and 2.2, will house the equipment and electrical room for up to four (4) blower equipment pads. The blower equipment and associated submerged aeration lines, see Sheets M3.0 through 3.4, which will replace the floating biomixer. The new building will also include a 20-foot by 30-foot boathouse storage area with a roll-up access door.

As stated previously, the planned improvements do not represent a change in the facility's process or capacity, but are intended as maintenance related measures to improve serviceability, reliability, and equipment performance. Construction plans are completed and ready for a building plan check review, pending approval from the Planning Commission. Construction will commence shortly after plan check approval, with completion anticipated in the spring of 2016.

CEQA:

The project is exempt from the requirements of the California Environmental Quality Act (CEQA) as set forth in Section 15301(b) of the CEQA Guidelines (Existing Facilities – Sewerage Utility Services).

ATTACHMENTS:

1. Resolution No. 2015-03
2. Vicinity Map
3. Plans for Construction of Wastewater Treatment Plant Maintenance 2015

RESOLUTION NO. 2015-03

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TAFT APPROVING CONDITIONAL USE PERMIT NO. 2015-02 TO UPGRADE THE TAFT WASTEWATER TREATMENT PLANT (WWTP) THROUGH MAINTENANCE-RELATED MEASURES TO IMPROVE SERVICEABILITY, RELIABILITY, AND EQUIPMENT PERFORMANCE, WITH NO PROPOSED CHANGES IN WWTF PROCESS OR CAPACITY, LOCATED ON TWO PROPERTIES TOTALING 42.46 ACRES APPROXIMATELY 800 FEET SOUTHWEST OF THE INTERSECTION OF AIRPORT ROAD AND ASH STREET

WHEREAS, the City of Taft has proposed to upgrade the Taft Wastewater Treatment Plant (WWTP) through maintenance-related measures to improve serviceability, reliability, and equipment performance, with no proposed changes in WWTP process or capacity, located on two properties totaling 42.46 acres approximately 800 feet southwest of the intersection of Airport Road and Ash Street in the City of Taft, County of Kern; and

WHEREAS, notice of a public hearing was published, posted, and mailed to surrounding property owners to consider the proposed project in accordance with City's Zoning Ordinance and applicable laws; and

WHEREAS, the Planning Commission studied and considered the written findings for approval of Conditional Use Permit No. 2015-02, City Staff's written and oral reports, and all public testimony before making a decision on this request, and

WHEREAS, the laws and regulations relating to the preparation and adoption of environmental documents, as set forth in the State Guidelines Implementing the California Environmental Quality Act have been adhered to; and

WHEREAS, the Planning Commission has fully considered this request and the potential environmental effects.

NOW, THEREFORE, THE PLANNING COMMISSION DOES HEREBY FIND, DETERMINE, RESOLVE, AND RECOMMEND AS FOLLOWS:

1. The proposed use is permitted within the Natural Resource (NR) zone district pursuant to the provisions of this section, complies with all applicable provisions of the Zoning Ordinance, is consistent with the goals, policies, and objectives of the General Plan, and is consistent with the applicable development policies and standards of the City; and
2. The proposed use would not impair the integrity and character of the Natural Resource (NR) zone district; and
3. The site is suitable for the type and intensity of the proposed use; and

4. There are adequate provisions for public utilities and services to ensure the public health and safety; and
5. The proposed use will not be detrimental to the public health, safety, or welfare, or materially injurious to the properties and improvements in the vicinity; and
6. The proposed amendment is exempt from the California Environmental Quality Act pursuant to Section 15301(b) of the CEQA Guidelines (Existing Facilities – Sewerage Utility Services).

ATTACHMENTS:

Conditional Use Permit No. 2015-02, Conditions of Approval

PASSED AND ADOPTED on this 18th day of February, 2015.

ATTEST

Yvette Mayfield, City Clerk

Ron Orrin, Chairman

CERTIFICATION

I, Yvette Mayfield, hereby certify that the foregoing resolution was passed and adopted by the Planning Commission of the City of Taft at a regularly scheduled meeting held on the 18th day of February, 2015, by the following vote

AYES:

NOES:

ABSENT:

ABSTENTIONS:

Yvette Mayfield, City Clerk



CONDITIONS OF APPROVAL CONDITIONAL USE PERMIT 2015-02
Location: Taft Wastewater Treatment Plant (APN 220-240-08, -10)
Acceptance of Conditions

General Conditions

1. Conditional Use Permit No. 2015-02 is approved to permit the City of Taft to upgrade the Taft Wastewater Treatment Plant (WWTP) through maintenance-related measures to improve serviceability, reliability, and equipment performance, with no proposed changes in WWTP process or capacity, located on two properties totaling 42.46 acres approximately 800 feet southwest of the intersection of Airport Road and Ash Street.
2. The applicant, managers, and recorded property owners of the property shall submit to the Development Services Department written evidence of agreement with all conditions of this approval before the approval becomes effective.
3. The safety and security of the site shall satisfy and be in compliance with all applicable Local, County, State, Special District, and Federal regulations, California Building Code, and California Occupational Safety and Health Association (CAL/OSHA).
4. This site is subject to all applicable City of Taft ordinances, regulations, standards and policies.

Building Department/ Public Works Department/ City Engineer

1. The City of Taft shall obtain necessary permits and/or approvals from all agencies (i.e. Building Permits) having jurisdiction over property being occupied and/or developed.
2. All improvements shall comply with all applicable American with Disabilities Act standards and regulations (ADA).
3. Contractors and subcontractors shall obtain a business license from the City prior to beginning any work.

Kern Fire Department

1. The City of Taft shall comply with all requirements of the Kern County Fire Department.
2. The applicant shall provide adequate emergency ingress/egress to the proposed building site, per Kern County Fire Department requirements.

Planning Department

1. The City of Taft shall upgrade the Taft Wastewater Treatment Plant (WWTP) through maintenance-related measures to improve serviceability, reliability, and equipment performance, with no proposed changes in WWTP process or capacity. The planned improvements shall include:
 - Plant Rated Capacity – 1.5 million gallons per day (mgd)(no change from existing)
 - Plant treatment technology – aerated lagoon (no change from existing)
 - Upgraded septage dump station
 - Replaced headworks, including automated screenings removal, Parshall Flume (influent flow metering with ultrasonic level device), bypass channel with manual bar screen

- Refurbished aeration system from floating biomixer to submerged aeration in Lagoon 1, which has a volume of approximately 7.3 million gallons (MG)
 - Reinstatement of Lagoon 2 with submerged aeration, also 7.3 MG volume
 - Existing Ponds 3 and 4, 1.3 MG volume each, will be used for final polishing, similar to the existing system, and will also be equipped with new SolarBee recirculation units.
 - Existing Effluent Holding Pond, total volume 4.2 MG, to be maintained
 - Effluent disposal/recycled water application area to be maintained, with an area of 135-acres, expandable to 160 acres.
 - Electrical improvements, including stand by generator
 - Controls improvements, including dissolved oxygen alarms
2. The City of Taft shall maintain the area in safe, clean, and orderly manner at all times.
3. A revision or modification to this approved Conditional Use Permit may be requested. A Revised Conditional Use Permit application shall be submitted to the Planning Director indicating the reasons for the change and supporting information. The revision or modification shall be subject to review and approval by the Planning Commission.

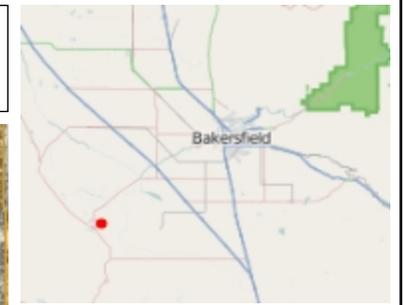
COMMISSION FINDINGS:

1. The Planning Commission finds that Conditional Use Permit No. 2015-02 as conditioned is consistent with the General Plan and the Zoning Ordinance.
2. The Planning Commission has reviewed and considered the environmental determination for this project and finds that the project is exempt from the requirements of CEQA in accordance with Section 15301(b) of the CEQA Guidelines (Existing Facilities – Sewerage Utility Services).

Applicant Signature	Print Name	Date
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Property Owner Signature	Print Name	Date
--------------------------	------------	------

Taft Planning Department Signature	Print Name	Date
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Legend

- Townships 24k
- Parcels
- Lakes & Ponds
- Water Course
- Canals
- County Parks
- Bakersfield Parks
- Golf Courses
- Addresses Points

1:6,472



0.2 0 0.10 0.2 Miles

This map is a user generated static output from an Internet mapping site and is for general reference only. The County of Kern assumes no liability for damages, incurred by the user of this information, which occur directly or indirectly as a result of errors, omissions or discrepancies in the information.

Notes

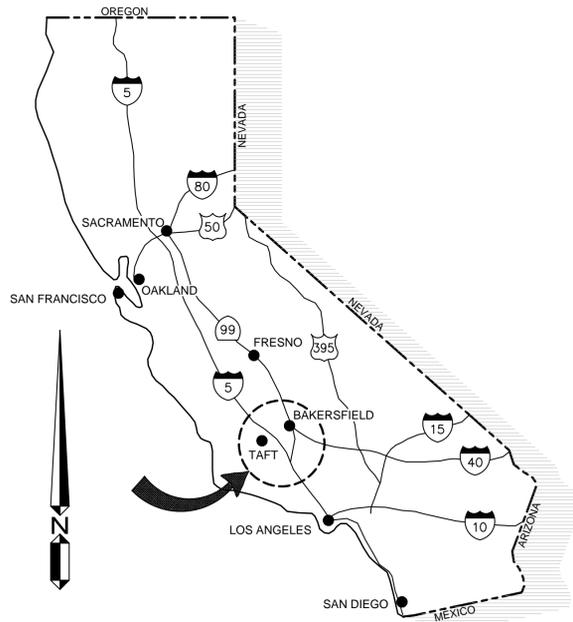
Add notes here

CITY OF TAFT

KERN COUNTY, CALIFORNIA

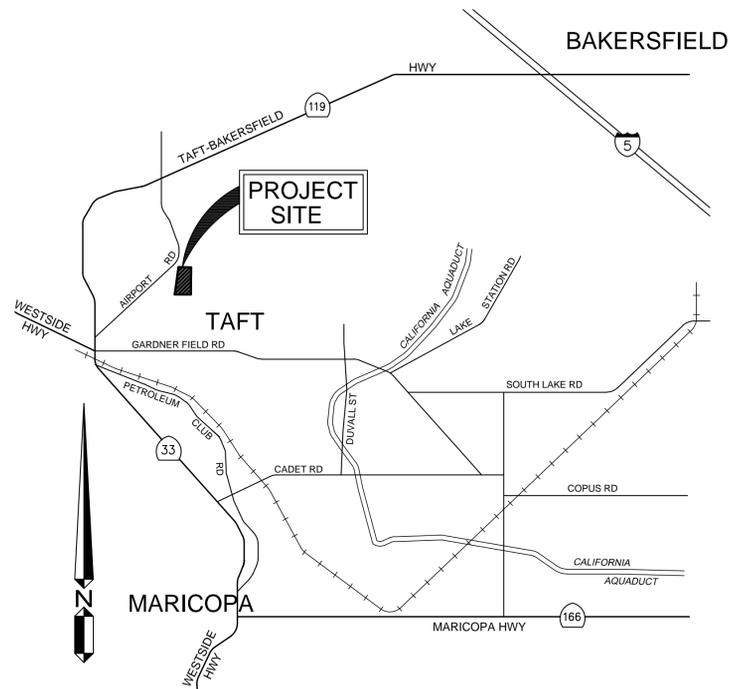


PLANS FOR CONSTRUCTION OF WASTEWATER TREATMENT PLANT MAINTENANCE 2015



VICINITY MAP

NOT TO SCALE



LOCATION MAP

NOT TO SCALE

SHEET INDEX	
SHEET #	SHEET TITLE
G1.0	COVER SHEET
G2.0	NOTES
G3.0	PROJECT SITE PLAN
G4.0	PROCESS SCHEMATIC AND DESIGN CRITERIA
C1.0	SEPTAGE RECEIVING STATION SITE PLAN
C2.0	HEADWORKS SITE PLAN
C4.0	BLOWER BUILDING SITE PLAN
M1.0	MECHANICAL DETAILS
M1.1	SEPTAGE RECEIVING STATION PLAN & SECTION
M2.1	HEADWORKS PLAN AND SECTION
M3.0	AERATION POND UTILITY PLAN
M3.1	AERATION POND DETAILS 1
M3.2	AERATION POND DETAILS 2
M3.3	AERATION POND DETAILS 3
M3.4	AERATION POND DETAILS 4
E1.0	GENERAL NOTES AND LEGEND
E1.1	SINGLE LINE DIAGRAM AND PANEL SCHEDULE
E2.0	ELECTRICAL SITE OVERVIEW
E2.1	ENLARGED SITE AT BLOWER BUILDING
E2.2	ENLARGED SITE AT HEADWORKS
E3.0	ELECTRICAL DETAILS
E3.1	ELECTRICAL DETAILS
A2.1	BLOWER BUILDING PLAN
A2.2	BLOWER BUILDING ELEVATION

TB	REV.	DATE	BY	DESCRIPTION

DESIGNED SJ	VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 ——— 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY
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CITY OF TAFT
WASTEWATER TREATMENT PLANT MAINTENANCE
COVER SHEET

JOB NO.
1013-02
DRAWING NO.
G1.0
SHEET NO.
X of X

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	JP	JOINT POLE
ACP	ASBESTOS CEMENT PIPE	L	LENGTH
AGG BASE	AGGREGATE BASE	LAT	LATERAL
ALUM	ALUMINUM	LP	LIGHT POLE
APPROX	APPROXIMATELY	LP	LOW POINT
ARCH	ARCHITECTURAL	LT	LEFT
ASSY	ASSEMBLY	M	METER
ARV	AIR RELEASE VALVE	MATL	MATERIAL
AVG	AVERAGE	MAX	MAXIMUM
BC	BEGIN CURVE	MFR	MANUFACTURER
BOR	BEGIN CURB RETURN	MGD	MILLION GALLONS PER DAY
BF	BLIND FLANGE	MH	MANHOLE
BFV	BUTTERFLY VALVE	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCH MARK	NA	NOT APPLICABLE
BO	BLOW OFF	NEC	NATIONAL ELECTRIC CODE
BV	BALL VALVE	NEC	NATIONAL ELECTRIC CODE
BVC	BEGIN VERTICAL CURVE	NGVD	NATIONAL GEODETIC VERTICAL DATUM
BOW,B/W	BACK OF WALL	NIC	NOT IN CONTRACT
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
C	CURB	OC	ON CENTER
CDS	CUL-DE-SAC	OD	OUTSIDE DIAMETER
CFS	CUBIC FEET PER SECOND	OUT	OUTLET
CI	CAST IRON	PCC	PORTLAND CEMENT CONCRETE
CL	CENTERLINE	PCVC	POINT OF COMPOUND VERTICAL CURVE
CLR	CLEAR	PG	PRESSURE GAGE
CMP	CORRUGATED METAL PIPE	PI	POINT OF INTERSECTION
CO	CLEANOUT	PIVC	POINT OF INTERSECTION VERTICAL CURVE
COMP	COMPACTION	PRC	POINT OF REVERSE CURVE
CONC	CONCRETE	PP	POWER POLE
CONST	CONSTRUCTION	PRV	PRESSURE REGULATING VALVE
CONT	CONTINUOUS	PRVC	POINT OF REVERSE VERTICAL CURVE
CPLG	COUPLING	PSF	POUND PER SQUARE FOOT
CY	CUBIC YARD	PSI	POUND PER SQUARE INCH
Δ	DELTA (ANGLE)	PUE	PUBLIC UTILITY EASEMENT
DET	DETAIL	PVC	POLYVINYL CHLORIDE
DG	DECOMPOSED GRANITE	PW	POINT OF VERTICAL INTERSECTION
D.I.	DROP INLET	R	RADIUS
DIA	DIAMETER	RAD	RADIAL
DIM	DIMENSION	RC	REINFORCED CONCRETE
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
DWSS	DRAWINGS	REINF	REINFORCE
EA	EACH	RET WALL	RETAINING WALL
EC	END CURVE	RRM	REST ROOM
ECR	END CURB RETURN	REQD	REQUIRED
EF	EACH FACE	RSP	ROCK SLOPE PROTECTION
EFF	EFFLUENT	RT	RIGHT
EGL	ENERGY GRADE LINE	R/W	RIGHT OF WAY
ELELEV	ELEVATION	RWL	RAW WELL WATER LINE
ELEC	ELECTRICAL	SS	SEWER
EP	EDGE OF PAVEMENT	S	SLOPE
EQPT	EQUIPMENT	SCH	SCHEDULE
EVC	END VERTICAL CURVE	SD	STORM DRAIN
EW	EACH WAY	SD	SUB-GRADE
EX	EXISTING	SHT	SHEET
EG	EXISTING GROUND	SHT	SPECIFICATIONS
FCA	FLANGE COUPLING ADAPTOR	STA	STATION
FF	FINISHED FLOOR	STD	STANDARD
FG	FINISH GRADE	STL	STEEL
FH	FIRE HYDRANT	STOR	STORAGE
FL	FLOW LINE	SW	SIDEWALK
FLG	FLANGE	T	TELEPHONE
FM	FORCE MAIN	TB	THRUST BLOCK
FW	FACE OF WALL	TB	TOP OF BANK
FS	FINISH SURFACE	TC	TOP OF CURB
FT	FEET	TEMP	TEMPERATURE
FTG	FOOTING	TOE	TOE OF SLOPE
FUT	FUTURE	TP	TOP OF PAVEMENT
G	GAS	TV	CABLE TELEVISION
GA	GAGE	TW	TOP OF WALL
GAL	GALLON	TYP	TYPICAL
GALV	GALVANIZED	TF	TOP OF FOOTING
GB	GRADE BREAK	UTL	COMMON TRENCH UTILITIES
GDR	GUARD RAIL	VAR	VARIES
GPD	GALLONS PER DAY	VC	VERTICAL CURVE
GPM	GALLONS PER MINUTE	VC	VICTAULIC COUPLING
GRD	GROUND	VCP	VITRIFIED CLAY PIPE
GUT	GUTTER	VERT	VERTICAL
GV	GATE VALVE	W	WATER
HC	HANDICAP	W/	WITH
HDPE	HIGH DENSITY POLYETHYLENE	W/O	WITHOUT
HDR	HEADER	WF	WIDE FLANGE
HGL	HYDRAULIC GRADE LINE	WL	WATER LINE
HORZ	HORIZONTAL	WM	WATER METER
HP	HIGH POINT	WS	WATER SERVICE
HP	HORSE POWER	WS	WATER SURFACE
HW	HOT WATER	WW	WET WELL
ID	INSIDE DIAMETER	WWF	WELDED WIRE FABRIC
INV	INVERT ELEVATION	WWM	WELDED WIRE MESH
IN	INCHES		
IN	INLET		
INTX	INTERSECTION		

LEGEND

EXISTING	PROPOSED	DESCRIPTION
(FL 100.00)	FL 101.50	SPOT ELEVATIONS
⊙	⊙	SEWER MANHOLE
○	○	SEWER CLEANOUT
—	—	WATER LATERAL
⊠	⊠	ELECTRICAL TRANSFORMER
↗	↗	SERVICE FOR ELECTRIC UTILITY W/SER. DIR. ARROWS
↘	↘	SERVICE FOR TELEPHONE UTILITY W/SER. DIR. ARROWS
↙	↙	SERVICE FOR CABLE TV UTILITY W/SER. DIR. ARROWS
—	—	SEWER LATERAL
⊠	⊠	FIRE HYDRANT
⊙	⊙	STORM DRAIN MANHOLE
—	—	STORM DRAIN INLET
•	•	GATE VALVE
•	•	AIR RELEASE VALVE
•	•	BLOWOFF ASSEMBLY
—	—	CAP
⊠	⊠	STREET MONUMENT
⊕	⊕	BENCH MARK
⊙	⊙	LIGHT POLE
⊙	⊙	JOINT POWER POLE
⊙	⊙	POWER POLE
—	—	SIGN
—	—	SD DROP INLET PER STORM DRAIN PLANS
2%	2.00%	SLOPE PERCENTAGE
—	—	WATER LINE
—	—	GRAVITY SEWER LINE
—	—	STORM DRAIN PER STORM DRAIN PLANS
—	—	UNDERGROUND GAS LINE
—	—	UNDERGROUND WIRE UTILITY LINE LOCATION PG&E, PAC. BELL and SONIC CABLE T.V. CONST. PER UTILITIES PLANS
—	—	SANITARY SEWER FORCED MAIN
—	—	PROPERTY LINE/TRACT BOUNDARY
—	—	EASEMENT
—	—	CENTERLINE
—	—	CURB AND GUTTER
—	—	FENCE
—	—	CREEK FLOWLINE
—	—	SLOPE

SYMBOLS

	DETAIL NUMBER SHEET NUMBER WHERE DETAIL IS FOUND
	DETAIL NUMBER SHEET NUMBER WHERE DETAIL IS REFERENCED FROM
	SECTION LETTER SHEET NUMBER WHERE SECTION IS FOUND
	SECTION LETTER SHEET NUMBER WHERE SECTION IS CUT FROM

SHEET REFERENCES WITHOUT A LETTER REFER TO SHEETS OF THE SAME LETTER CATEGORY AS THE SHEET WITH THE REFERENCE.

TB	REV.	DATE	BY	DESCRIPTION

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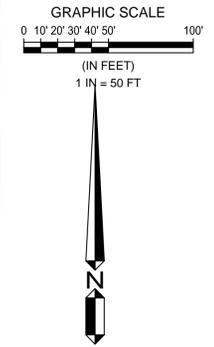
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CITY OF Taft
PUBLIC WORKS

CITY OF TAFT
WASTEWATER TREATMENT PLANT MAINTENANCE
NOTES

JOB NO. 1013-02
DRAWING NO. G2.0
SHEET NO. X OF X



NEW SEPTAGE RECEIVING STATION
 IMPROVEMENTS
 SEE C1.0 & M1.0

OLD SEPTAGE RECEIVING STATION
 TO BE DEMOLISHED

NEW HEADWORKS
 IMPROVEMENTS
 SEE C2.0 & M2.0

AERATION POND 2
 SEE M3.0 FOR
 AERATION SYSTEM
 IMPROVEMENTS

AERATION POND 1
 SEE M3.0 FOR
 AERATION SYSTEM
 IMPROVEMENTS

POLISHING
 POND 4

POLISHING
 POND 3

NEW BLOWER BUILDING
 SEE C4.0 DRAWINGS

EFFLUENT
 HOLDING
 POND

TB	REV.	DATE	BY	DESCRIPTION

DESIGNED SJ	
DRAWN SJ	
CHECKED RSM	
DATE 2-3-15	

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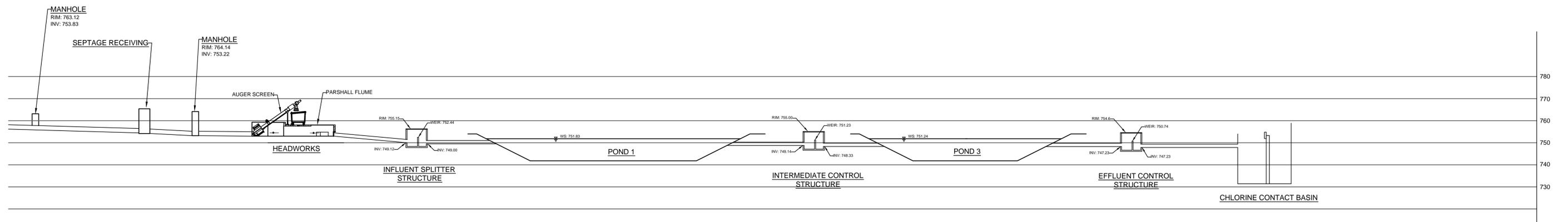
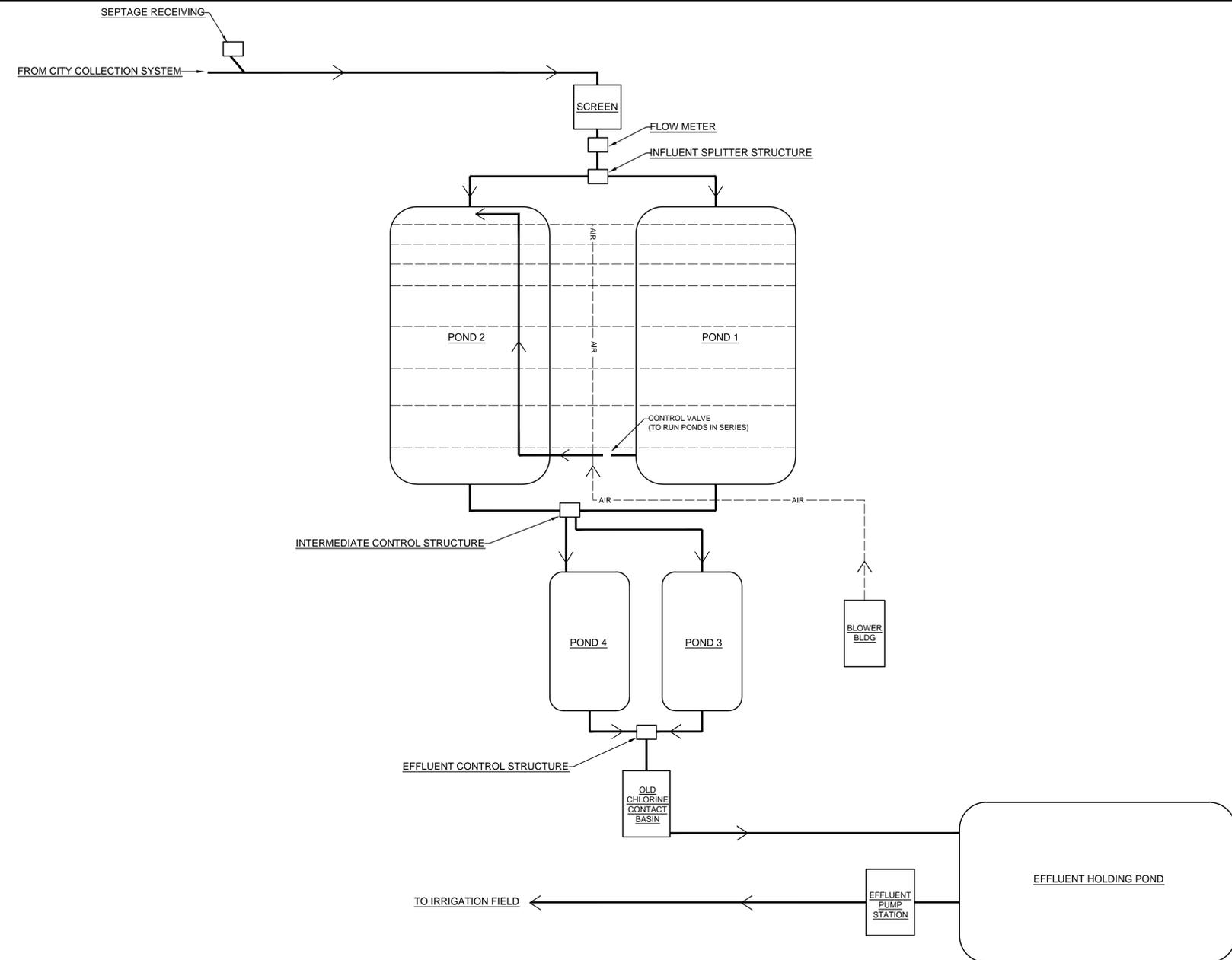


CITY OF TAFT
 WASTEWATER TREATMENT PLANT MAINTENANCE
 SITE OVERVIEW

JOB NO.
1013-02
 DRAWING NO.
G3.0
 SHEET NO.
X of X

DESIGN CRITERIA

DESIGN FLOWS		POND 2	
AVERAGE ANNUAL, MGD	1.24	ZONE 1	
PEAK HOUR, MGD	6.00	DIFFUSER CHAINS, NO	4
DESIGN LOADINGS		VOLUME, MG	2
AVERAGE BOD5, MG/L	300	AIR DEMAND, SCFM	1097
AVERAGE SUSPENDED SOLIDS, MG/L	45	DIFFUSERS, NO	272
AVERAGE SETTLEABLE SOLIDS, MG/L	0.2	HYDRAULIC RETENTION, D	2.67
TKN, MG/L	40	ZONE 2	
WATER TEMP		DIFFUSER CHAINS, NO	4
WINTER, C	20	VOLUME, MG	5.3
SUMMER, C	25	AIR DEMAND, SCFM	346
DIFFUSERS, NO	80	DIFFUSERS, NO	80
HYDRAULIC RETENTION, D	7.07		
INFLUENT FLOW METER		POND 3	
TYPE	FLUME W/ ULTRASONIC LEVEL METER	HYDRAULIC RETENTION, D	7.07
MAXIMUM CAPACITY		POND 4	
SEPTAGE RECEIVING STATION		POND SIZE, AC	0.58
INFLUENT SCREENING		POND VOLUME, MG	1.3
TYPE	SCREW PRESS	POND DEPTH, FT	12
NUMBER	1	POND WATER DEPTH, FT	10
CAPACITY (EACH), MGD		SIDE SLOPE	3:1
SCREEN SIZE		EFFLUENT HOLDING POND	
SECONDARY TREATMENT - AERATION PONDS (OPERATION IN PARALLEL)		POND SIZE, AC	1.94
POND 1		POND VOLUME, MG	4.2
POND SIZE, AC	2.5	POND DEPTH, FT	12
POND VOLUME, MG	7.3	POND WATER DEPTH, FT	10
POND DEPTH, FT	12	SIDE SLOPE	3:1
POND WATER DEPTH, FT	10	EFFLUENT PUMPS	
SIDE SLOPE	3:1	NUMBER OF PUMPS	2
FLOW THROUGH POND, MGD	0.75	CAPACITY, GPM (EACH)	750
ZONE 1		TDH, FT	240
DIFFUSER CHAINS	4	HP	60
VOLUME	2	MOTOR SPEED, RPM	1800
AIR DEMAND	1097	BLOWER BUILDING	
DIFFUSERS, NO	272	BLOWERS, NO	3
HYDRAULIC RETENTION, D	2.67	FUTURE BLOWER, NO	1
ZONE 2		BLOWER TYPE	PD
DIFFUSER CHAINS, NO	4	MANUFACTURER/MODEL	AERZEN/HYBRID C
VOLUME, MG	5.3	FLOW, SCFM (EACH)	1800
AIR DEMAND, SCFM	346	HP (EACH)	100
DIFFUSERS, NO	80	PRESSURE, PSI	6.25
HYDRAULIC RETENTION, D	7.07		
POND 2			
POND SIZE, AC	2.5		
POND VOLUME, MG	7.3		
POND DEPTH, FT	12		
POND WATER DEPTH, FT	10		
SIDE SLOPE	3:1		
FLOW THROUGH POND, MGD	0.75		



TB	REV.	DATE	BY	DESCRIPTION

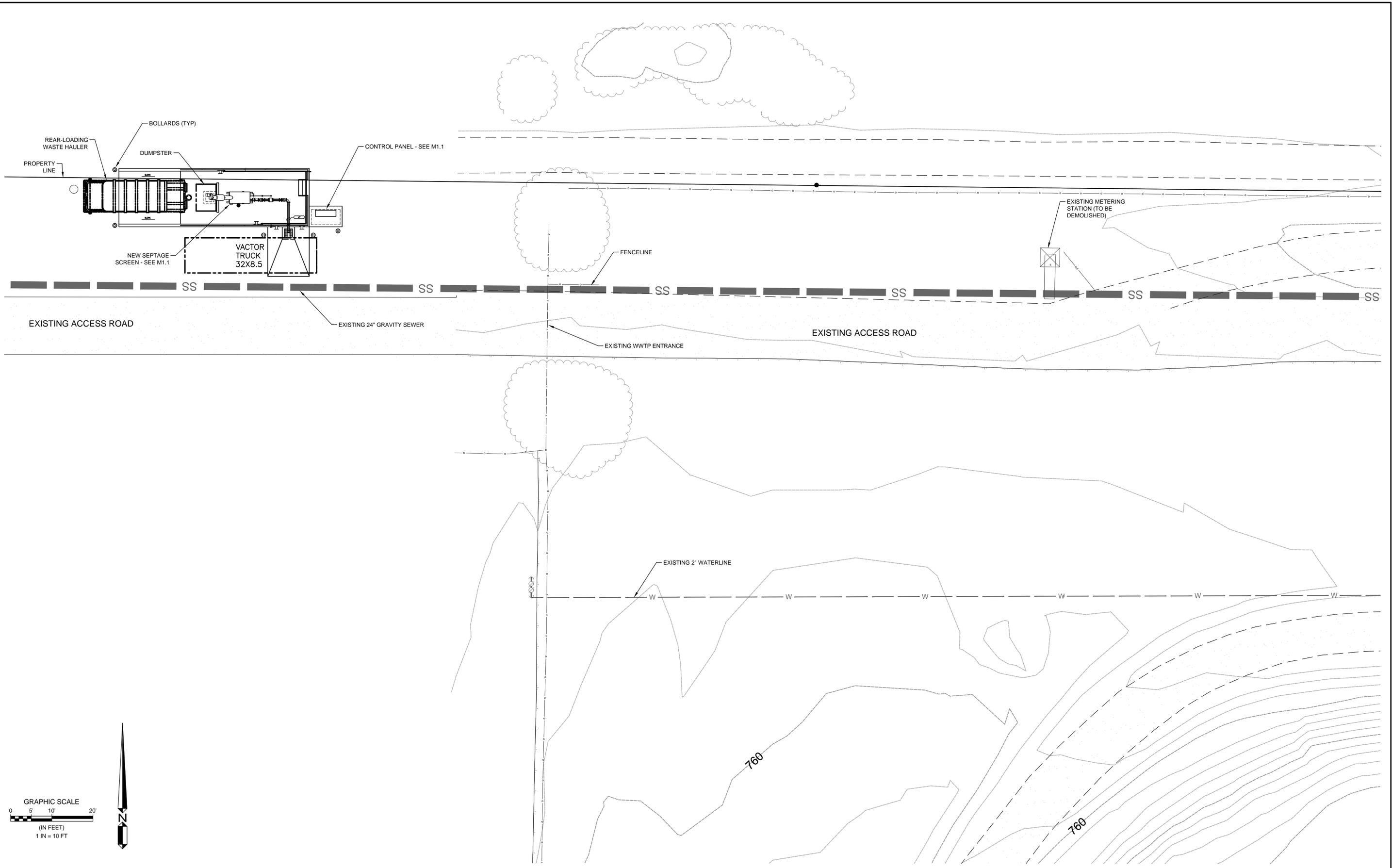
DESIGNED	SJ
DRAWN	SJ
CHECKED	RSM
DATE	2-3-15

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CITY OF TAFT
 WASTEWATER TREATMENT PLANT MAINTENANCE
 PROCESS SCHEMATIC AND DESIGN CRITERIA

JOB NO. 1013-02
 DRAWING NO. G4.0
 SHEET NO. X OF X



TB	REV.	DATE	BY	DESCRIPTION

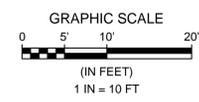
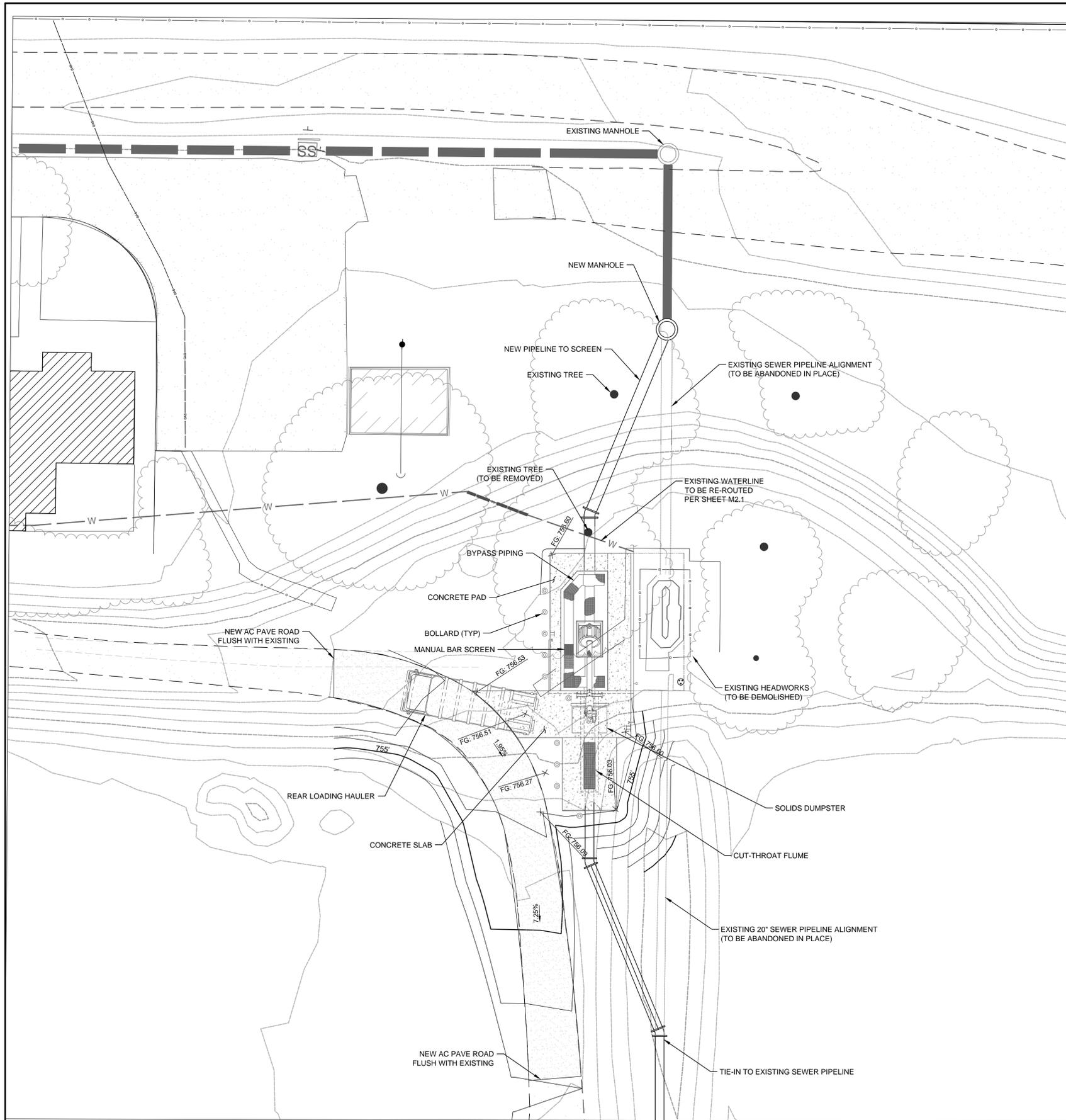
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DRAWN SJ	
CHECKED RSM	
DATE 2-3-15	

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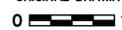
CITY OF TAFT
WASTEWATER TREATMENT PLANT MAINTENANCE
SEPTAGE RECEIVING STATION

JOB NO.
1013-02
 DRAWING NO.
C1.0
 SHEET NO.
X OF X



TB	REV.	DATE	BY	DESCRIPTION

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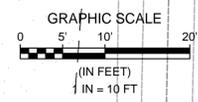
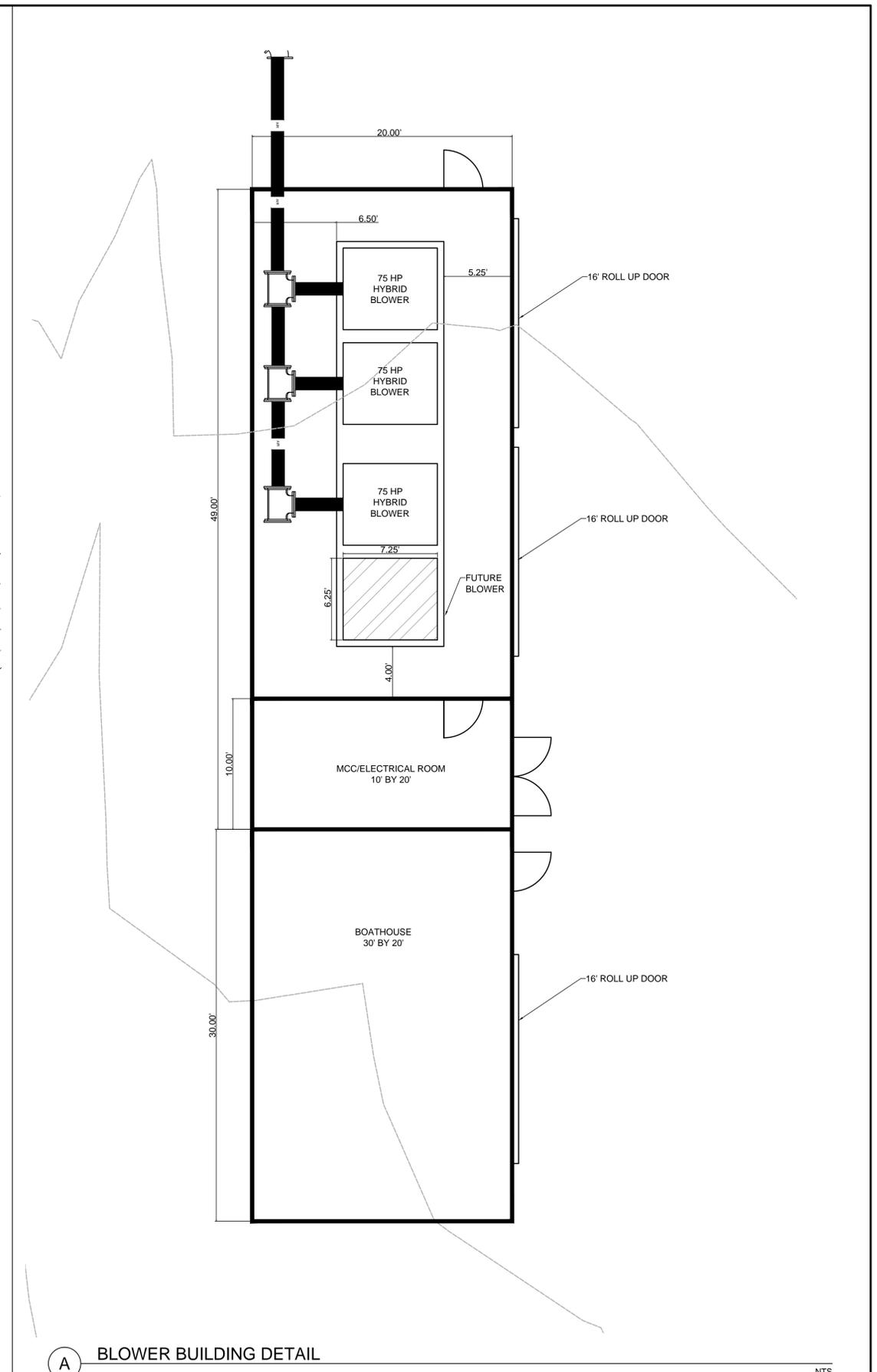
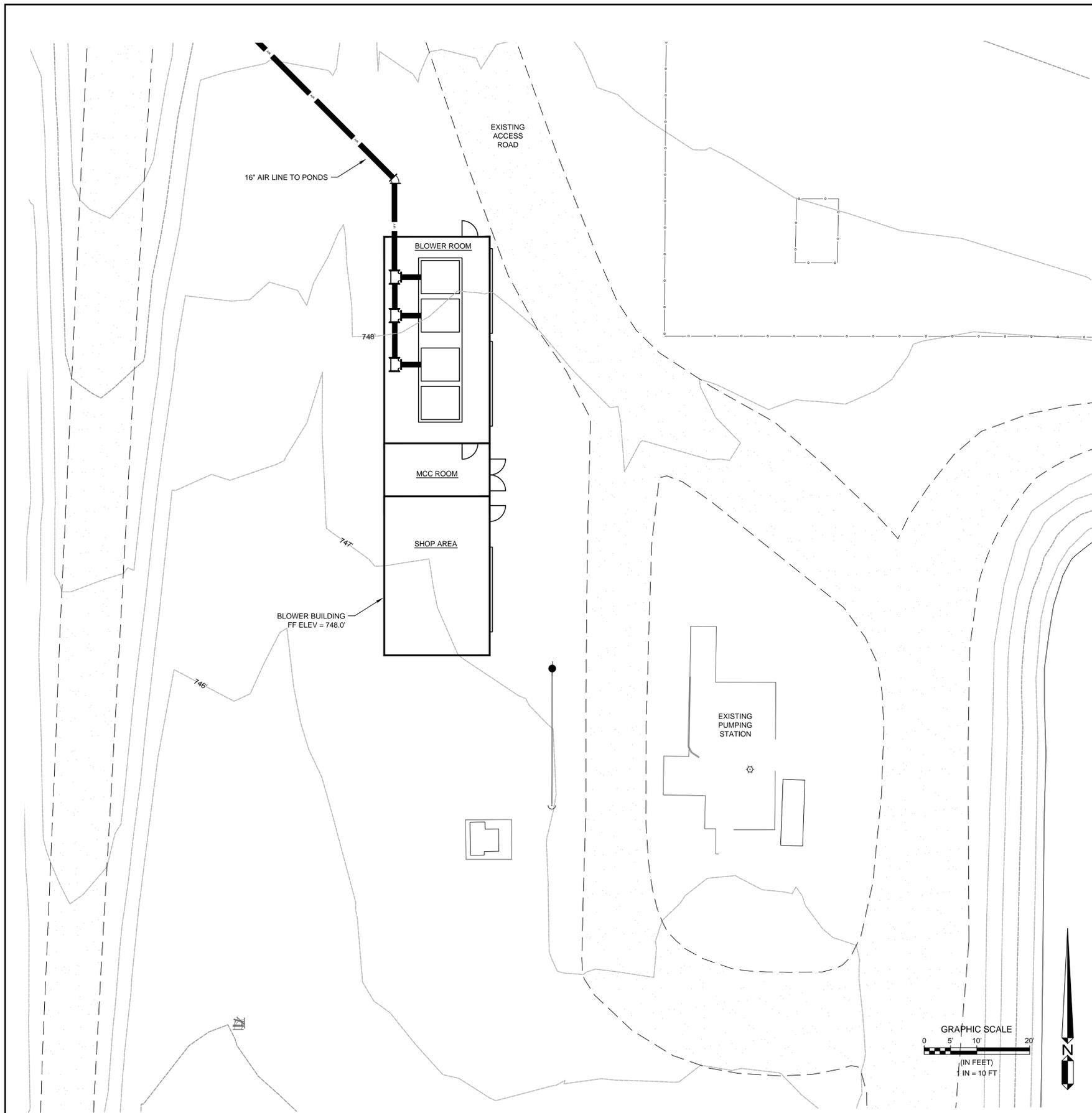


CITY OF TAFT
 WASTEWATER TREATMENT PLANT MAINTENANCE
 HEADWORKS

JOB NO.
1013-02

DRAWING NO.
C2.0

SHEET NO.
X OF X



A BLOWER BUILDING DETAIL

NTS

TB	REV.	DATE	BY	DESCRIPTION

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DATE 2-3-15	

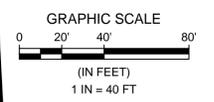
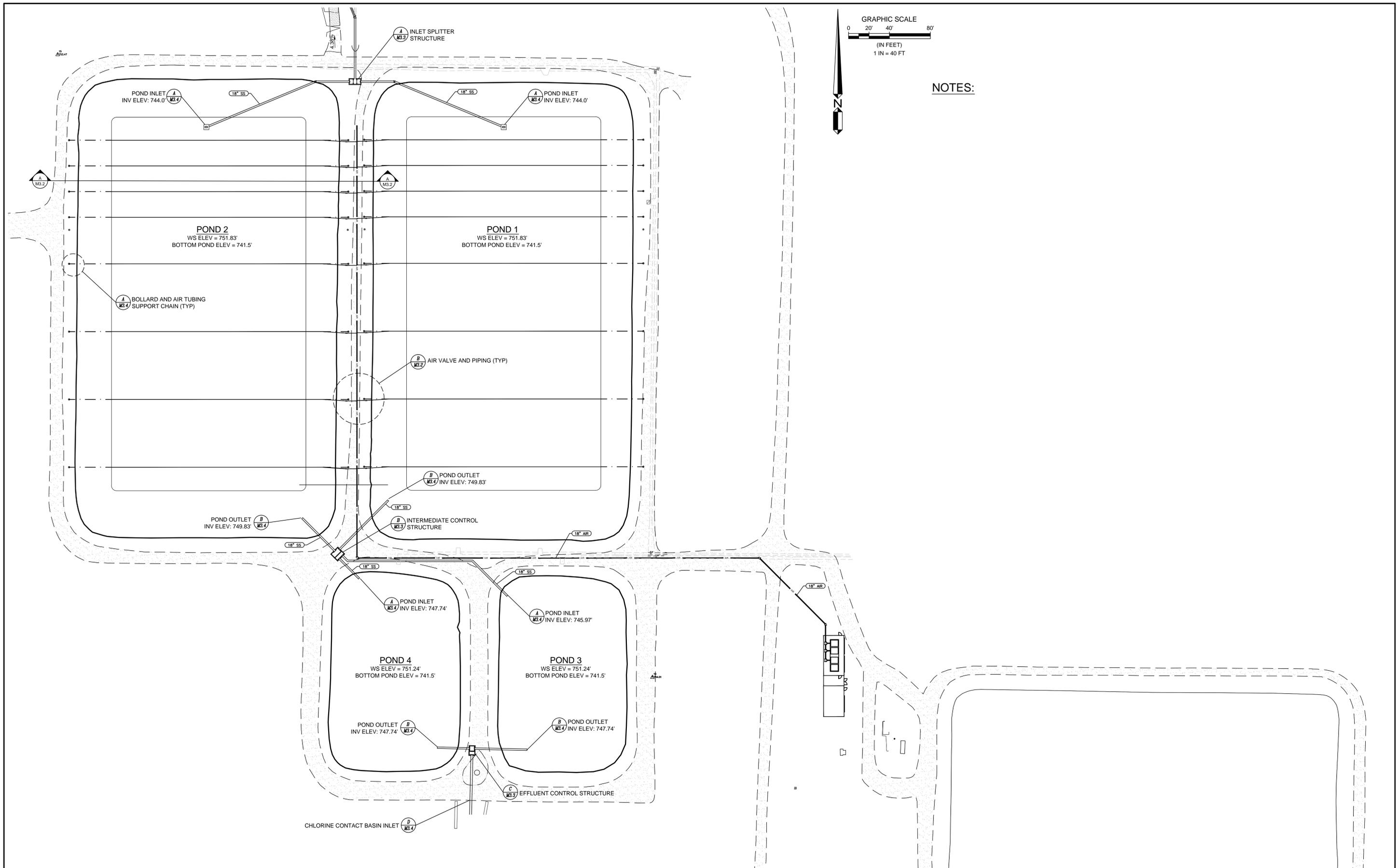
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 BLOWER BUILDING GARDING PLAN

JOB NO.
1013-02
 DRAWING NO.
C4.0
 SHEET NO.
X of X



NOTES:

TB	REV.	DATE	BY	DESCRIPTION

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DRAWN SJ			
CHECKED RSM			
DATE 2-3-15			

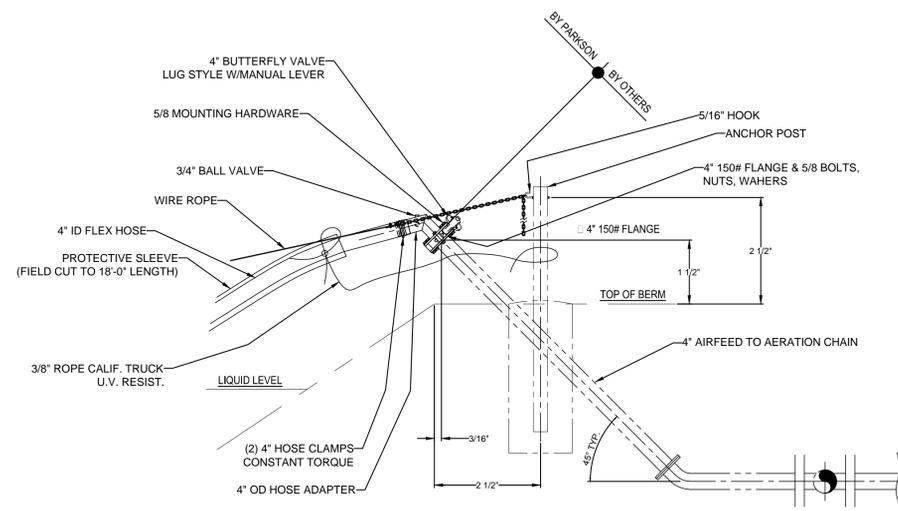
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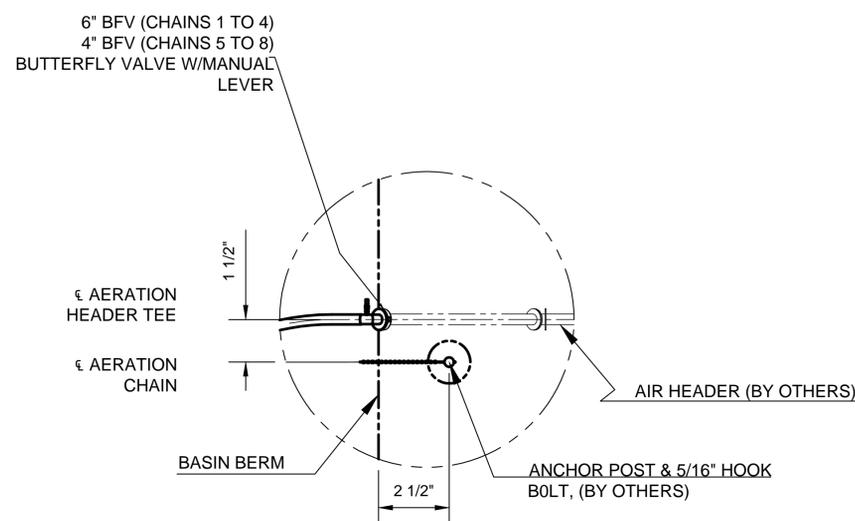
CITY OF TAFT
 WASTEWATER TREATMENT PLANT MAINTENANCE
 POND UTILITY PLAN

JOB NO.
1013-02
 DRAWING NO.
M3.0
 SHEET NO.
X OF X



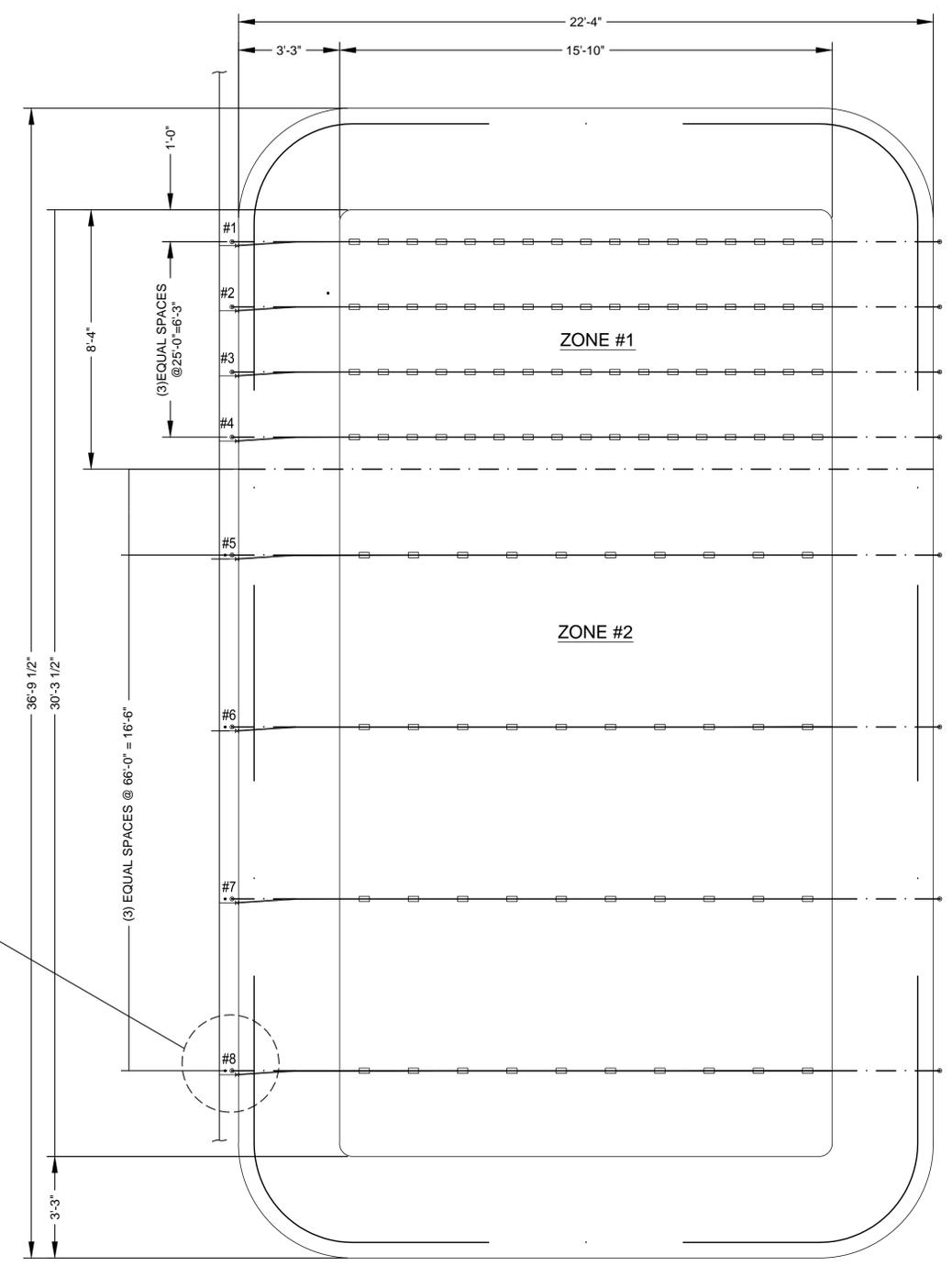
A TYPICAL AERATION PIPING DETAIL

NTS



B TYPICAL AERATION ANCHOR DETAIL

NTS



TYPICAL POND AERATION EQUIPMENT DETAIL

NTS

TB	REV.	DATE	BY	DESCRIPTION

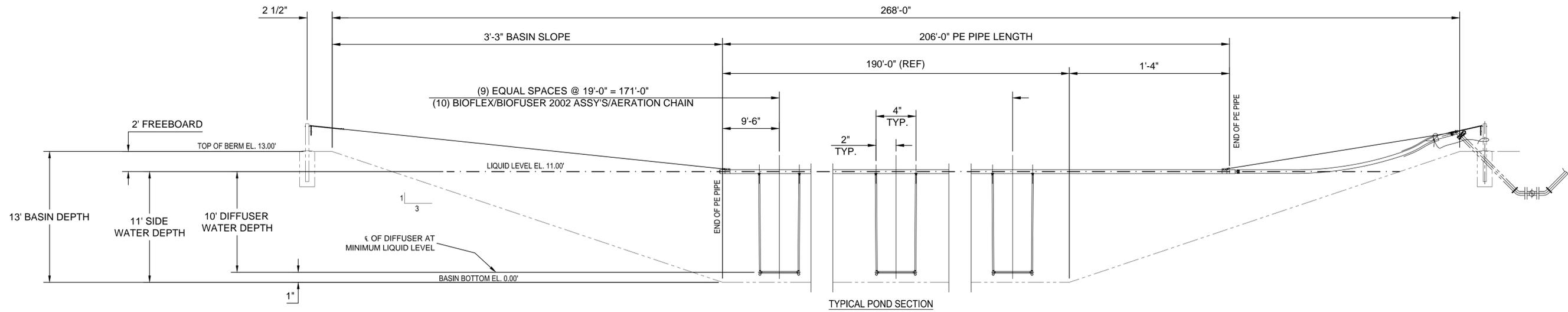
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DATE 2-3-15			

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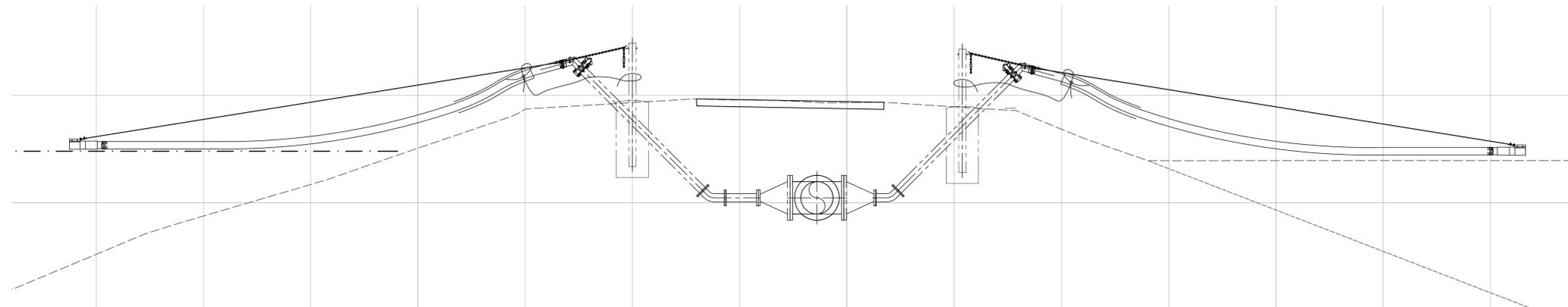


CITY OF TAFT		JOB NO. 1013-02
WASTEWATER TREATMENT PLANT MAINTENANCE		DRAWING NO. M3.1
POND UTILITY DETAILS 1		SHEET NO. X of X



A TYPICAL POND SECTION

NTS



B AIR HEADER AND ACCESS ROAD SECTION BETWEEN PONDS

NTS

TB	REV.	DATE	BY	DESCRIPTION

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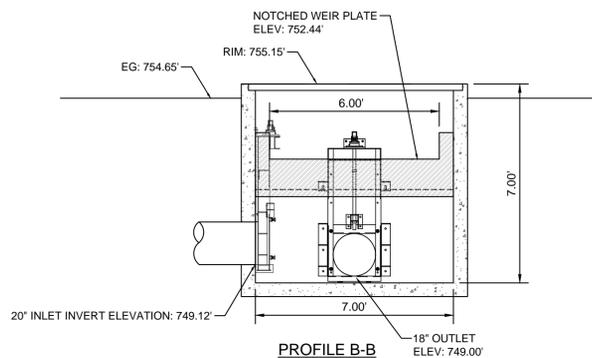
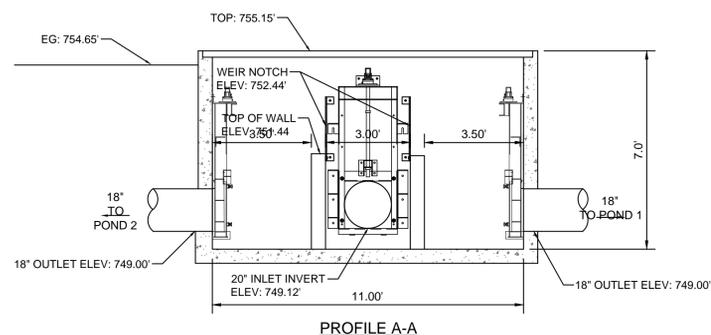
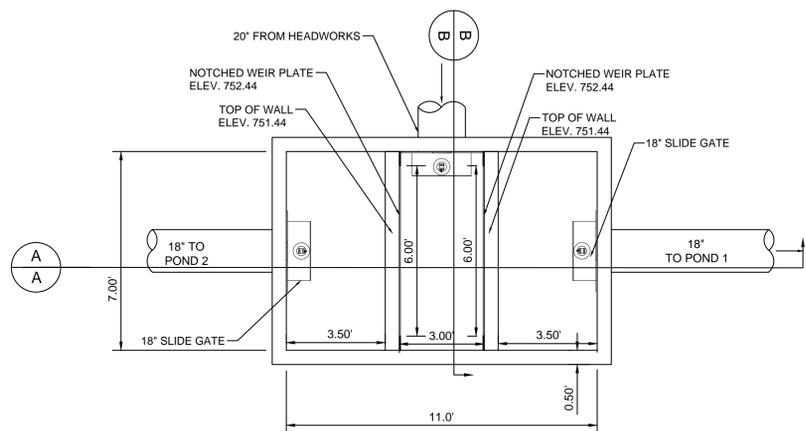


CITY OF TAFT

WASTEWATER TREATMENT PLANT MAINTENANCE

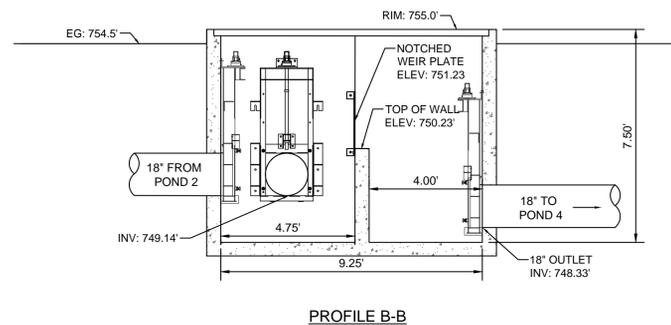
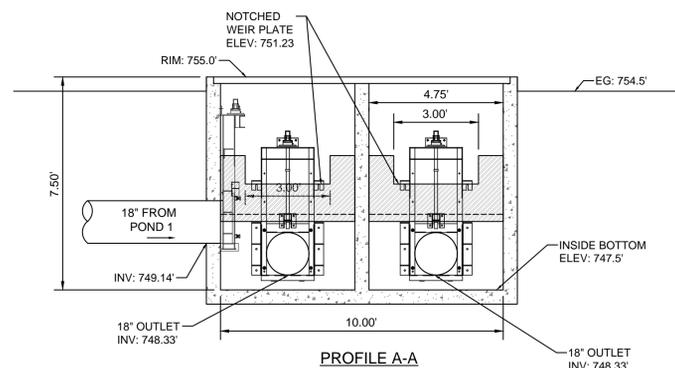
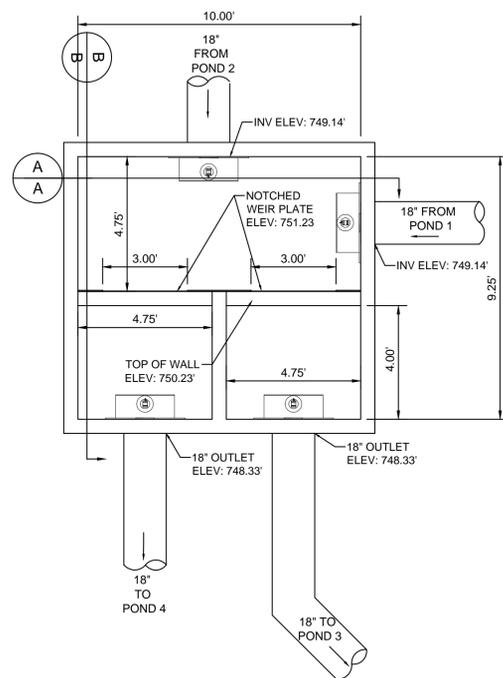
POND UTILITY DETAILS 2

JOB NO. 1013-02
DRAWING NO. M3.2
SHEET NO. X of X



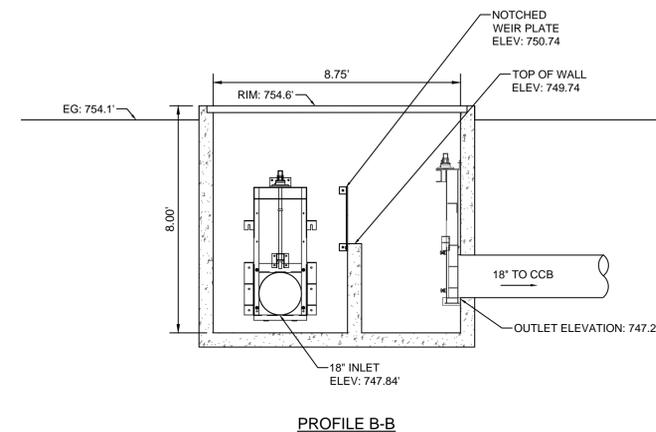
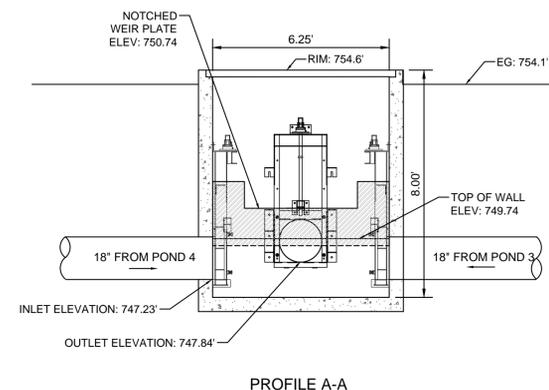
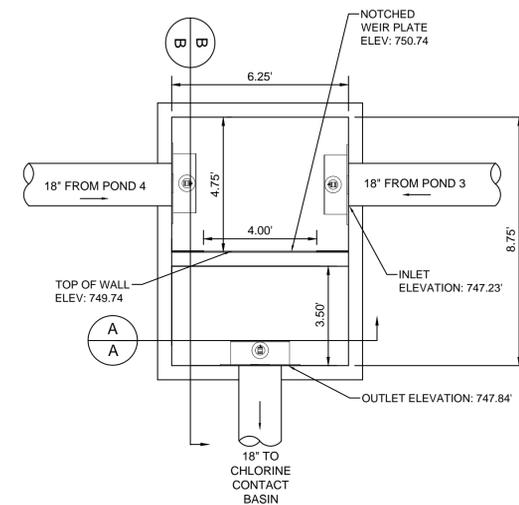
A INFLUENT SPLITTER STRUCTURE

NTS



B INTERMEDIATE CONTROL STRUCTURE

NTS



C EFFLUENT CONTROL STRUCTURE

NTS

TB	REV.	DATE	BY	DESCRIPTION

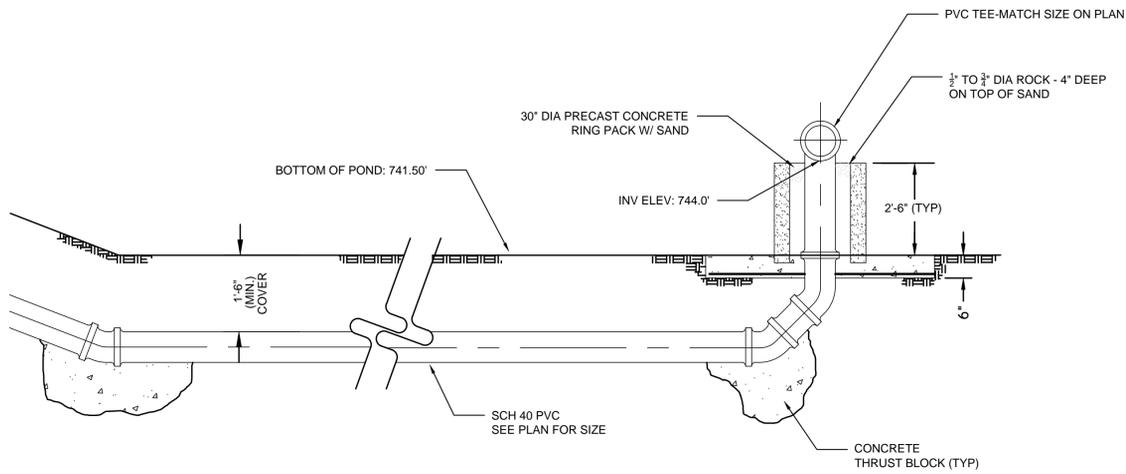
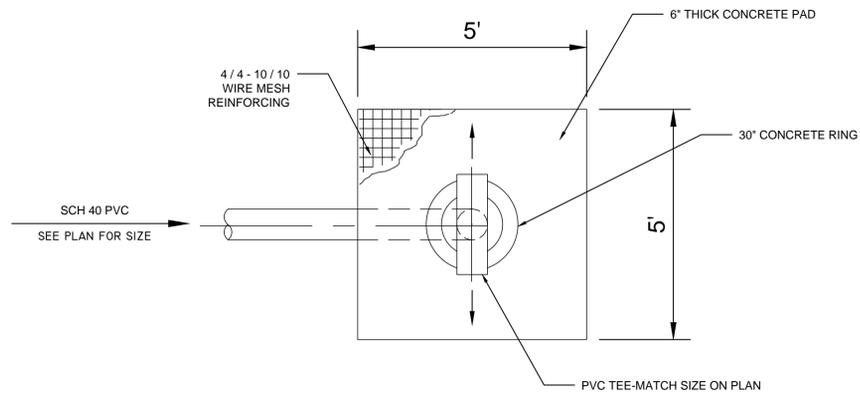
DESIGNED	SJ
DRAWN	SJ
CHECKED	RSM
DATE	2-3-15

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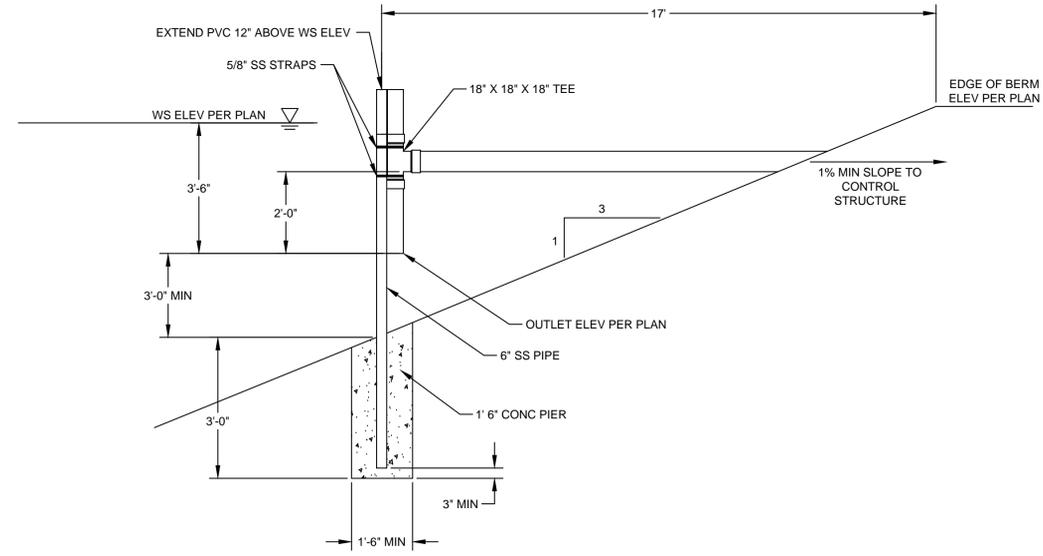
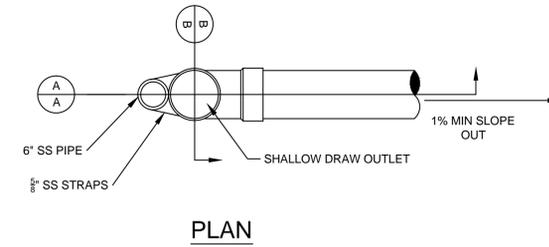
CITY OF TAFT
 WASTEWATER TREATMENT PLANT MAINTENANCE
 POND UTILITY DETAILS 3

JOB NO.	1013-02
DRAWING NO.	M3.3
SHEET NO.	X OF X

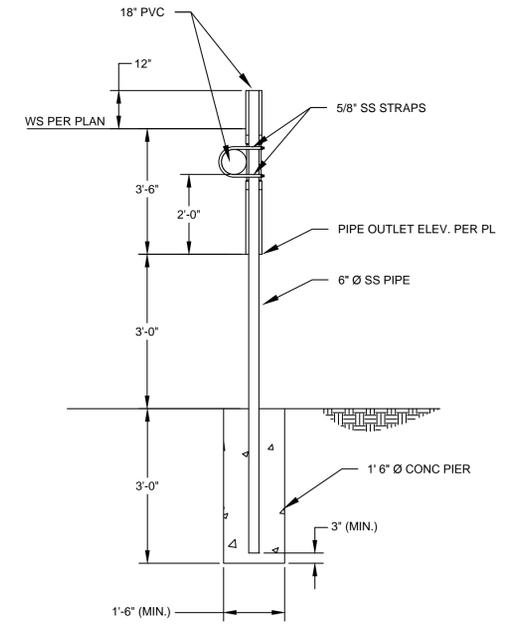


A POND INLET DETAIL

NTS



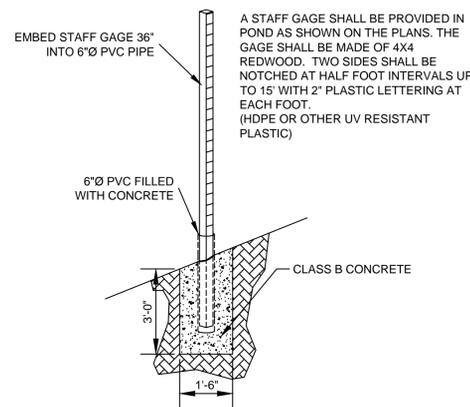
PROFILE A-A



PROFILE B-B

B POND OUTLET DETAIL

NTS



A STAFF GAGE SHALL BE PROVIDED IN POND AS SHOWN ON THE PLANS. THE GAGE SHALL BE MADE OF 4X4 REDWOOD. TWO SIDES SHALL BE NOTCHED AT HALF FOOT INTERVALS UP TO 15' WITH 2" PLASTIC LETTERING AT EACH FOOT. (HDPE OR OTHER UV RESISTANT PLASTIC)

C STAFF GUAGE DETAIL

NTS

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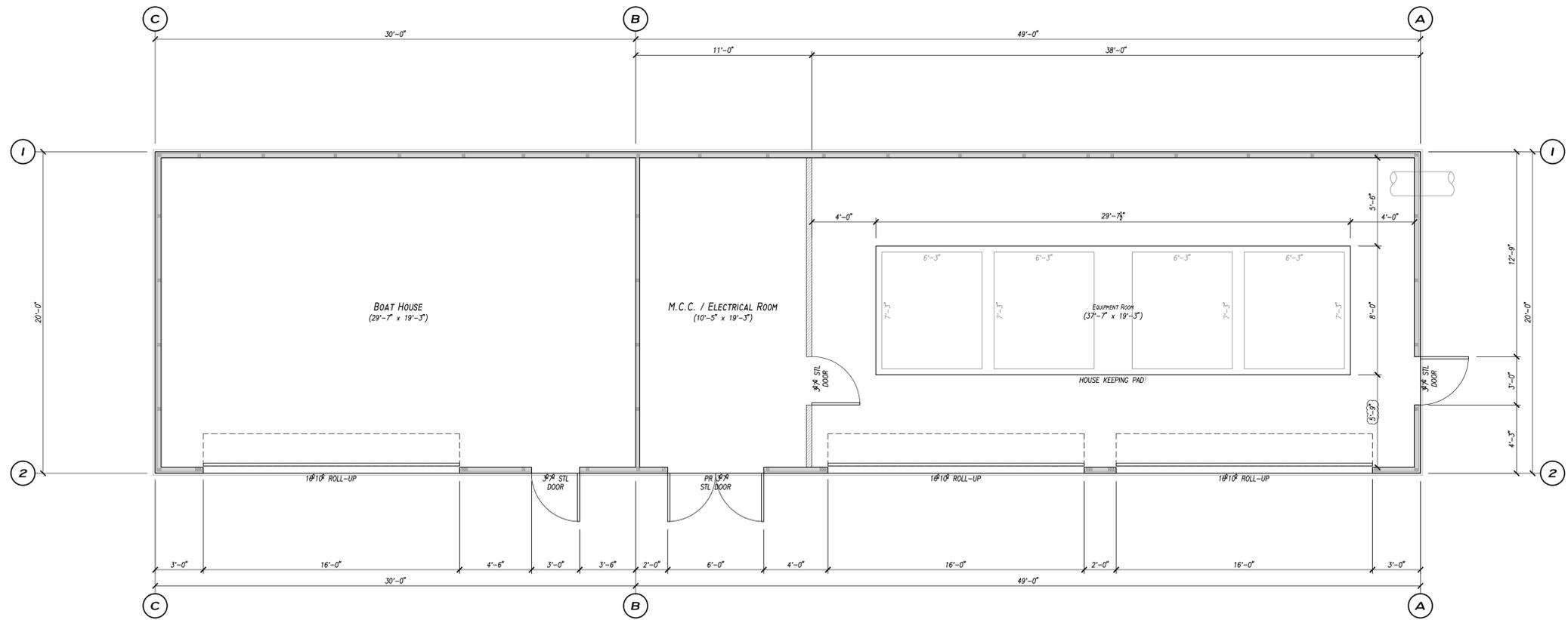
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 POND UTILITY DETAILS 4

JOB NO.	1013-02
DRAWING NO.	M3.4
SHEET NO.	X OF X



ARTISAN ENGINEERING INCORPORATED

1170 SUNSET DRIVE ARROYO GRANDE, CA 93420
 PHONE: 805.474.9600 FAX: 805.474.9601

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PROJECT

TAFT W.W.T.P.

TAFT, CA

OWNER

CITY OF TAFT

TAFT, CA

P.E.M.B. FABRICATOR

P.W.S. INC. B-850705
 5290 ORCUTT ROAD
 SAN LUIS OBISPO, CA 93401

PHONE: 805.547.8797

WWW.PWSSTEELBUILDINGS.COM

DRAWING TITLE

FLOOR PLAN

REVISIONS

△	OWNER REVIEW	2014.12.3
△	OWNER REVIEW	2015.1.22

**OWNER REVIEW
 NOT FOR CONSTRUCTION**

DRAWN BY CR

PRINT DATE 2015.1.22

PERMIT No

AEI No 14.95

FLOOR PLAN

1/4" = 1'-0"

FLOOR PLAN NOTES

- REFER TO SHEETS x & x - x FOR GENERAL NOTES & TYPICAL DETAILS.
- FLOORS:
 - EXPOSED SLAB, SMOOTH TROWEL FINISH. VERIFY IF NON-SLIP SURFACE OR EPOXY COATING IS REQUIRED.
 - FLAT SLAB, NO SLOPE, NO RECESSES
 - NO CURBS, NO HOUSEKEEPING PADS
- MAN DOORS:
 - ALL STEEL DOORS & JAMBS, AS SELECTED BY OWNER
 - HARDWARE AS SELECTED BY OWNER, VERIFY IF ADA COMPLIANCE IS REQUIRED
 - PAINT AS DIRECTED BY OWNER
 - ALL GLAZING IN DOORS SHALL BE TEMPERED
 - CONCRETE LANDING OUTSIDE EVERY DOOR, WIDTH NOT LESS THAN THE DOOR, EXTEND 3'-0" MIN OUT FROM FACE OF BUILDING. FLUSH w/ INSIDE CONCRETE, MAX 2% SLOPE AWAY FROM BUILDING.
- ROLL-UP DOORS:
 - COMMERCIAL GRADE, ALL STEEL
 - MANUAL CHAIN HOIST OPERATED, VERIFY IF AUTOMATED HOIST MECHANISM IS REQUIRED
 - PAINT AS DIRECTED BY OWNER
 - RECESS @ BASE OF ROLL UP DOOR, 1/2" UNLQ.
 - CONCRETE LANDING REQUIRED, SEE NOTES ABOVE.
- SIDING & TRIM:
 - 26ga R-PANEL (MAJOR RIBS @ 12")
 - BODY PANEL & TRIM COLOR AS SELECTED BY OWNER
 - INSTALLED OVER THERMAL BLANKET (INSULATION) AT ROOF & WALLS
 - SKEWED PANELS & ROOF VENTILATORS NOT INDICATED
- GUTTERS & DOWNSPOUTS
 - NOT SPECIFIED, VERIFY w/ OWNER
- THE CONTRACTOR SHALL:
 - VERIFY ALL DIMENSIONS & EXISTING CONDITIONS. REPORT ANY DISCREPANCIES IN WRITING TO THE STRUCTURAL ENGINEER.
 - COORDINATE THE WORK CONTAINED HEREIN WITH ALL OTHER WORK FOR THE PROJECT INCLUDING ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL & LANDSCAPE.
 - ENSURE BUILDING WATER PROOFING
 - ENSURE PROPER SITE DRAINAGE AS MAY BE REQUIRED
 - VERIFY VENTING REQUIREMENTS, PASSIVE &/OR ACTIVE
 - PROVIDE FOR NON-SLIP SURFACES AS REQUIRED
 - VERIFY w/ THE OWNER ALL FINISHES, COLORS, TEXTURES
 - VERIFY ALL OTHER NON-STRUCTURAL ISSUES



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INCORPORATED**

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PROJECT

TAFT W.W.T.P.

TAFT, CA

APN:

OWNER

CITY OF TAFT

TAFT, CA

P.E.M.B. FABRICATOR

P.W.S. INC. B-850705
5290 ORCUTT ROAD
SAN LUIS OBISPO, CA 93401

PHONE: 805.547.8797

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DRAWING TITLE

EXTERIOR ELEVATIONS

REVISIONS

△	OWNER REVIEW	2014.12.3
△	OWNER REVIEW	2015.1.22

**OWNER REVIEW
NOT FOR CONSTRUCTION**

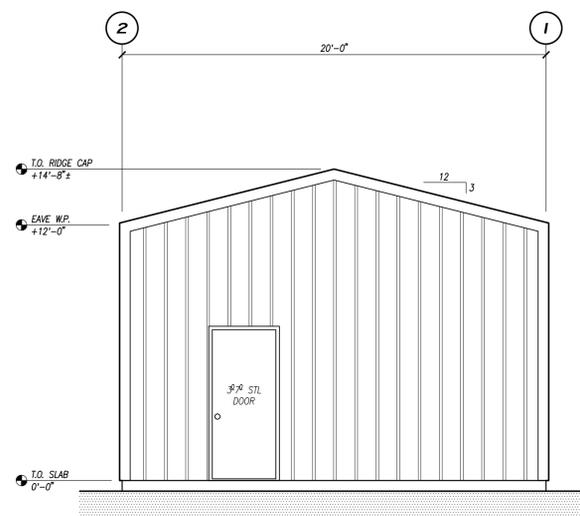
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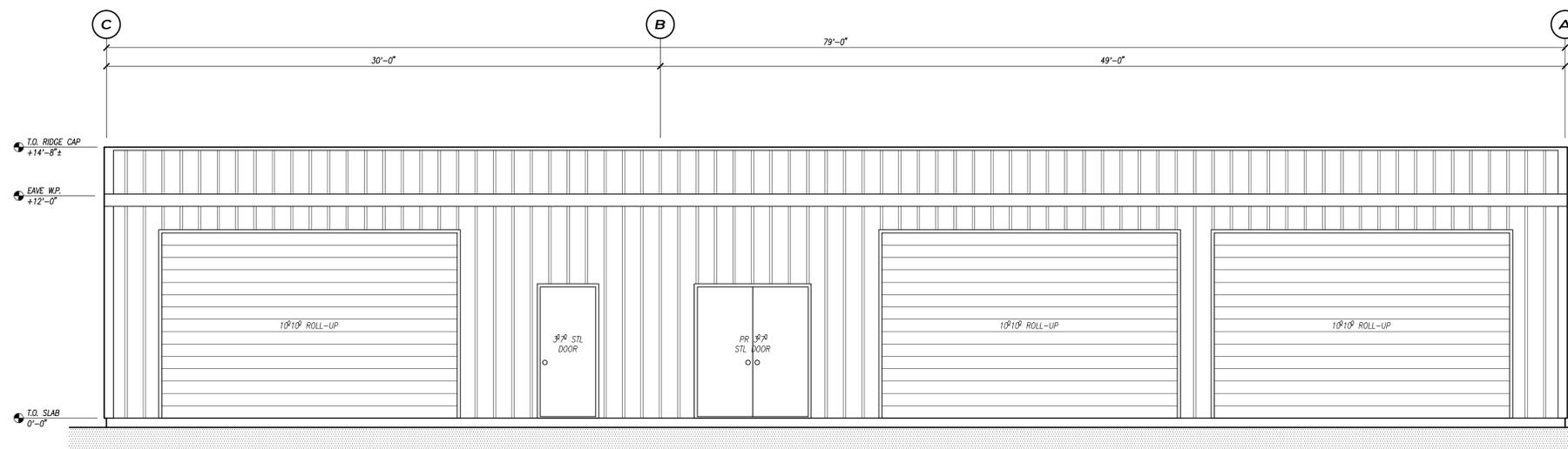
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2.2



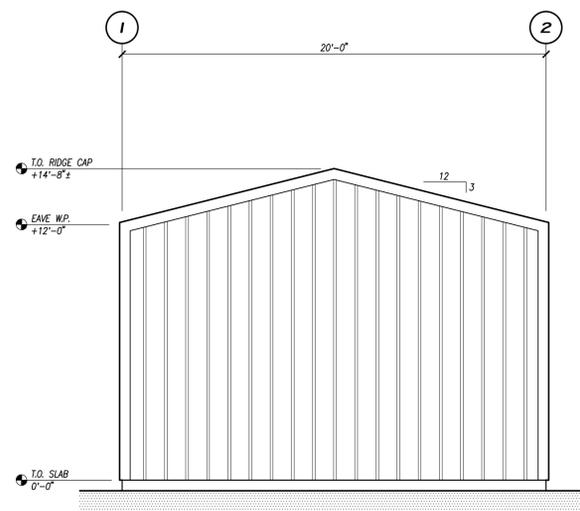
RIGHT EXTERIOR ELEVATION

1/4" = 1'-0"



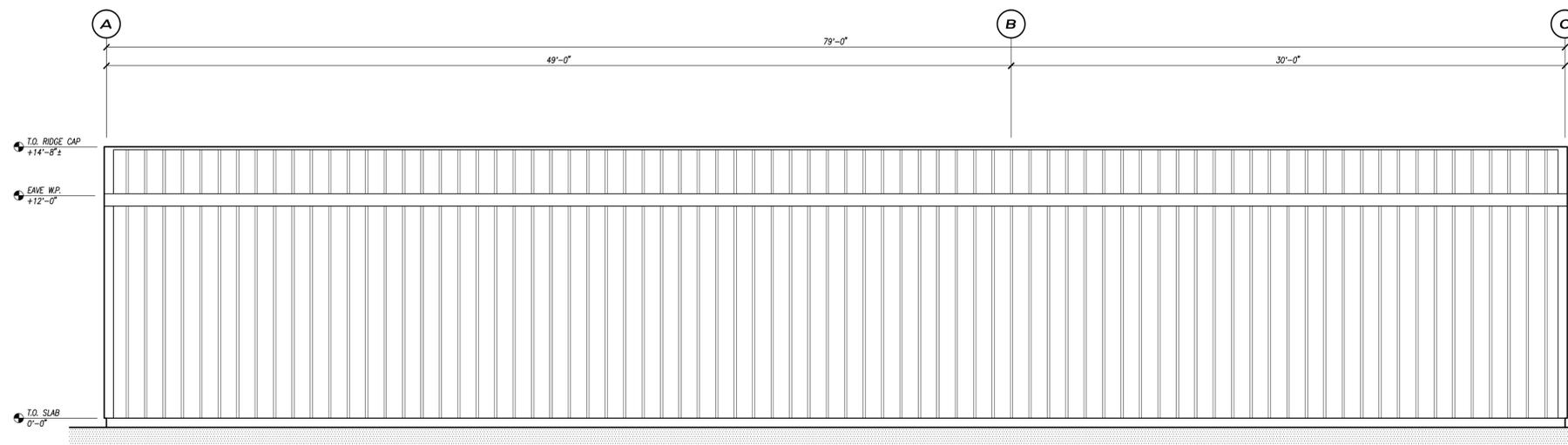
FRONT EXTERIOR ELEVATION

1/4" = 1'-0"



LEFT EXTERIOR ELEVATION

1/4" = 1'-0"



REAR EXTERIOR ELEVATION

1/4" = 1'-0"